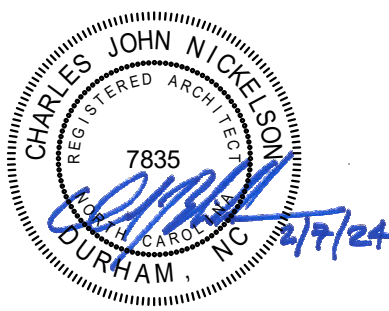


# Elon Francis Center Health Sciences Renovation - Phase 4

762 East Haggard Avenue, Elon, NC

Professional Seal



**Francis Center  
Health Sciences  
Renovation -  
Phase 4**

762 East Haggard Ave., Elon, NC  
Key Plan

Revisions	No.	Date	Description

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Original drawing is 30" x 42". Do not scale contents of this drawing.  
Project Number: 2105.04  
Drawn: MTM  
Checked: C/JN  
Date: 2/2/2024

Sheet Title

**COVER SHEET**

Sheet Number

**G001**

Architect of Record:

**RND Architects, PA**  
Durham, North Carolina  
Phone: 919.490.1266

P, M, E, and FP Engineers:

**Edmondson Engineers, PA**  
Durham, North Carolina  
Phone: 919.544.1936



Index of Drawings	
No.	Sheet Name
<b>GENERAL</b>	
G001	COVER SHEET
G002	BUILDING CODE SUMMARY
G003	LIFE SAFETY PLANS
G004	LEGENDS, ABBREVIATIONS & NOTES
<b>GENERAL-4</b>	
<b>ARCHITECTURAL</b>	
A101	EXISTING LEVEL 1 PLAN OVERALL
A102	EXISTING LEVEL 2 PLAN OVERALL
A103	DEMOLITION PLAN LEVEL 1
A104	DEMOLITION REFLECTED CEILING PLAN
A201	RENOVATION PLAN LEVEL 1 OVERALL
A202	RENOVATION PLAN LEVEL 1 - OFFICES
A203	RENOVATION PLAN LEVEL 1 - STUDENT COMMONS
A301	RENOVATION REFLECTED CEILING PLAN - OFFICES
A302	RENOVATION REFLECTED CEILING PLAN - STUDENT COMMONS
A401	WALL TYPES, DOOR SCHEDULE, STOREFRONT AND WINDOW ELEVATIONS
A801	ENLARGED RESTROOM PLAN, ELEVATIONS & TYP. MOUNTING HEIGHTS
A810	CASEWORK AND TYPICAL ADA MOUNTING HEIGHTS
A901	FINISH SCHEDULE AND PLANS
<b>ARCHITECTURAL: 13</b>	
<b>FIRE PROTECTION</b>	
FP100.1	FIRE PROTECTION DEMOLITION PLAN LEVEL 1 - PHASE 4
FP101.1	FIRE PROTECTION DEMOLITION PLAN LEVEL 1 - PHASE 4
FP201.1	FIRE PROTECTION RENOVATION PLAN LEVEL 1 - PHASE 4
<b>FIRE PROTECTION: 3</b>	
<b>PLUMBING</b>	
P001.1	PLUMBING LEGENDS, NOTES & SCHEDULES
P101.1	PLUMBING DEMOLITION PLAN LEVEL 1 - PHASE 4
P102.1	PLUMBING DEMOLITION PLAN LEVEL 1 - PHASE 4
P201.1	PLUMBING RENOVATION PLAN LEVEL 1 - PHASE 4
P202.1	PLUMBING RENOVATION PLAN LEVEL 1 - PHASE 4
P401.1	PLUMBING DETAILS SHEET
P402.1	PLUMBING DETAILS SHEET
P403.1	PLUMBING DETAILS SHEET
<b>PLUMBING: 8</b>	
<b>MECHANICAL</b>	
M001.1	MECHANICAL SYMBOLS, LEGENDS, NOTES & ABBREVIATIONS
M101.1	MECHANICAL RENOVATION PLAN LEVEL 1 - PHASE 4
M201.1	MECHANICAL RENOVATION PLAN LEVEL 1 - PHASE 4
M301.1	MECHANICAL SCHEDULES AND SEQUENCE OF OPERATIONS - PHASE 4
M401.1	MECHANICAL SCHEDULES AND SEQUENCE OF OPERATIONS - PHASE 4
<b>MECHANICAL: 5</b>	
<b>ELECTRICAL</b>	
E100.1	ELECTRICAL DEMOLITION PLAN LEVEL 1 - PHASE 4
E101.1	ELECTRICAL DEMOLITION PLAN LEVEL 1 - PHASE 4
E102.1	ELECTRICAL DEMOLITION PLAN LEVEL 1 - PHASE 4
E201.1	ELECTRICAL RENOVATION PLAN LEVEL 1 - PHASE 4
E202.1	ELECTRICAL RENOVATION PLAN LEVEL 1 - PHASE 4
E300.1	ELECTRICAL PANEL SCHEDULES - PHASE 4
E400.1	ELECTRICAL DETAILS - PHASE 4
<b>ELECTRICAL: 7</b>	

FEBRUARY 2, 2024  
**BID DOCUMENTS**

## General Notes

**A. GENERAL CONTRACTOR SHALL FIELD VERIFY/FIELD MEASURE ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD DIMENSIONS PRIOR TO START OF WORK. OWNER/ARCHITECT CANNOT GUARANTEE THE ACCURACY OF THESE DRAWINGS OF EXISTING CONDITIONS. FAILURE OF THE GENERAL CONTRACTOR TO VERIFY EXISTING DIMENSIONS PRIOR TO START OF WORK OR FABRICATION OF CONTRACT MATERIALS SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ANY SPECIAL PROBLEMS, COSTS, OR DELAYS THAT MIGHT HAVE BEEN AVOIDED HAD THE CONTRACTOR DONE SO.**

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**F. All existing building life safety components, such as exit signage, exit lights, fire alarm, sprinklers, etc., shall remain continuously operational and free of obstruction for areas outside of construction zone of work in order to maintain building occupancy during construction. Any building utility shut-downs that will affect other building occupants shall be coordinated with Owner with minimum 3 days' notification.**

**G. All fire-rated partitions shall be continuous to the underside of floor structure above. Existing partitions indicated as fire barriers that are not currently constructed as a fire barriers, shall be added to or altered as necessary to bring them up to the required fire rating construction as indicated. All fire-rated walls and partitions shall be effectively and permanently identified with signs or stenciling. Such identification shall be above the ceiling and in concealed spaces. Suggested wording as appropriate: '2 HOUR RATED FIRE BARRIER - PROTECT ALL OPENINGS' or '1 HOUR RATED FIRE BARRIER - PROTECT ALL OPENINGS'**

**H. The General Contractor shall be responsible for patching and fire stopping all floor and roof openings left by the removal of P, M, and E ducts, pipes, and conduits.**

**J. All items scheduled to be removed shall be properly disposed of by the contractor unless specifically noted otherwise. The Owner reserves the right to claim any items removed during demolition.**

**K. Asbestos containing materials (ACM) are not known to be present in the space to be demolished and renovated. If contractor encounters what he suspects to be ACM, they should not disturb the suspect materials and notify the owner immediately. The owner shall be responsible for removing hazardous materials discovered in project area upon notification by contractor.**

**L. Noted ceiling heights for new ceilings shall not be changed due to field conditions without express direction from the Architect. Coordinate trades carefully.**

**M. Notify Architect of building expansion joint locations.**

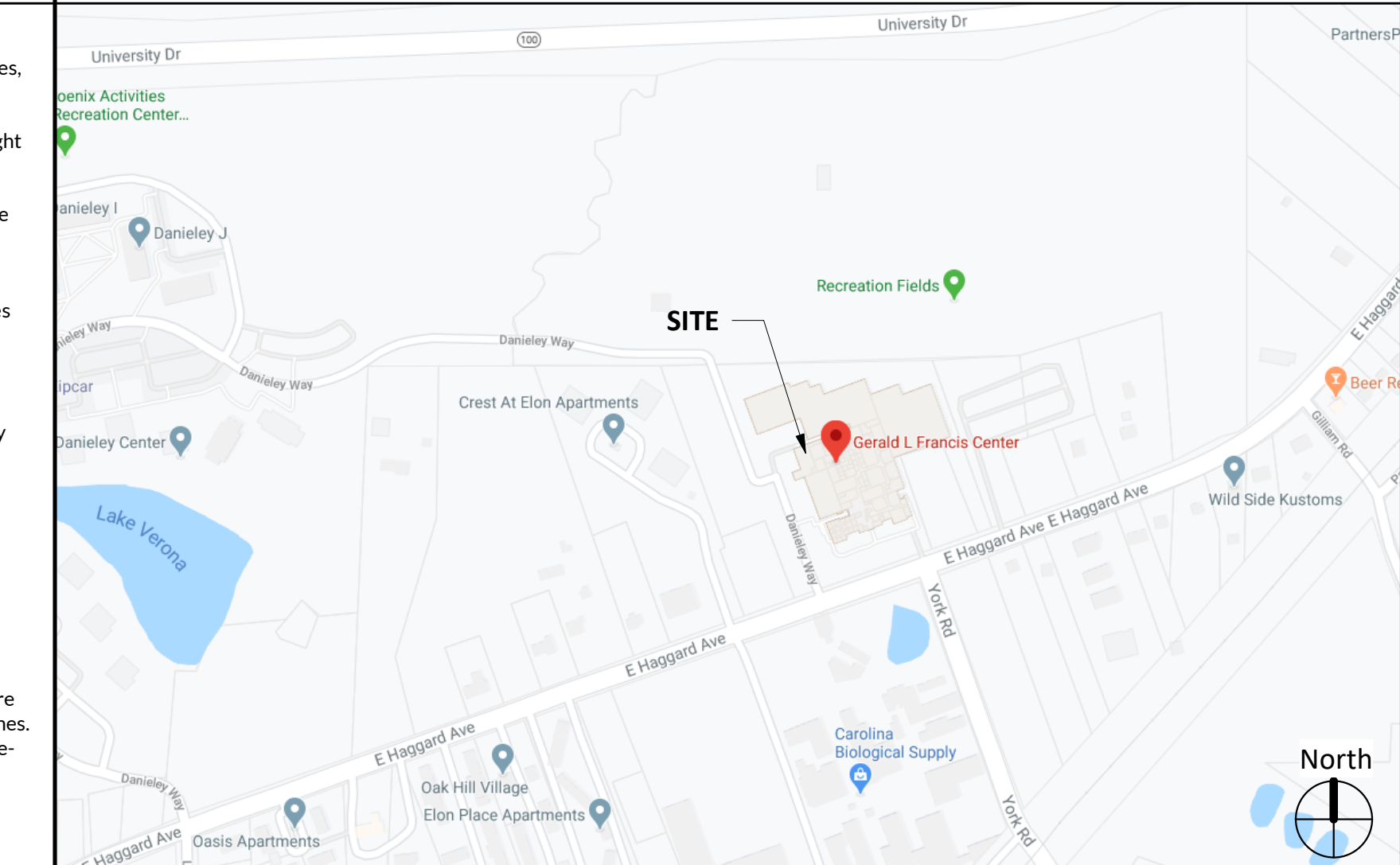
**N. The GC shall provide signage on all doors into the project area stating, "CONSTRUCTION SITE - NO ADMITTANCE". Sign shall be professionally made with easily visible letters on background indicating warning to staff and public. The GC shall provide walk-off mats as specified at each door leading from the construction area into other parts of the building**

**P. See Plumbing, Mechanical, Electrical, and Fire Protection drawings for further information.**

**Q. The General Contractor is responsible for:**

1. Providing all necessary access panels, with correct fire protection ratings, whether indicated or not on the drawings.
2. Access panels required shall include, but not limited to dampers, plumbing valves, junctions boxes and cleanouts
3. Patching and fire stopping all floor and roof openings left by the removal of P, M, and E ducts, pipes, and conduits.
4. Where existing walls are removed, repair floor substrates to receive new finishes. If area is to receive new tile, provide mortar bed as required.
5. Prepare setting slab to be level, flat, and finished as required for installation of finished floor materials per manufacturers' specifications. Where existing setting beds at tiled areas are removed, provide lightweight concrete fill up to level of adjacent substrate or to level required for new finishes.
6. Coordinate and provide blocking/backing in partitions behind all wall mounted items (millwork shelving, files, etc.). All concealed wood to be fire retardant lumber.
7. Where lavatories, mirrors, accessories, etc. are scheduled to be removed from walls to remain, patch and paint walls to match existing where exposed to view.

## Location Map



Sheet Number

**G001**

Sheet Title

2/16/2024 2:57:45 PM



2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: Elon University Francis Center Health Sciences Renovation - Phase 4
Address: 762 East Haggard Ave., Elon, NC Zip Code: 27715
Owner/Authorized Agent: Brad Moore Phone # (336) 278-5492 E-Mail: bmoore@elon.edu

CONTACT:

Table with 6 columns: DESIGNER, FIRM, NAME, LICENSE #, TELEPHONE #, E-MAIL. Lists project team members and their roles.

2018 NC BUILDING CODE: Renovation
2018 NC EXISTING BUILDING CODE: Alteration Level II
CONSTRUCTED: (date) 1971-1993 CURRENT OCCUPANCY(S) (Ch. 3): B, S-2
RENOVATED: (date) 2011, 2022, 2023 PROPOSED OCCUPANCY(S) (Ch. 3): B

OCCUPANCY CATEGORY (Table 1604.5): Current: III Proposed: III
BASIC BUILDING DATA
Construction Type: II-B
Sprinklers: Yes NFPA 13
Standpipes: No
Primary Fire District: No Flood Hazard Area: No
Special Inspections Required: No

Gross Building Area Table with columns: FLOOR, EXISTING (SQ FT), NEW (SQ FT), RENOVATION (SQ FT), SUB-TOTAL.

ALLOWABLE AREA\*

2018 NC Administrative Code and Policies

Primary Occupancy Classification(s): Business Assembly: A-3 Select one Select one Select one

Accessory Occupancy Classification(s): Low-Hazard Storage S-2
Incidental Uses (Table 509): N/A
Special Uses (Chapter 4 - List Code Sections): N/A
Special Provisions: (Chapter 5 - List Code Sections): N/A
Mixed Occupancy: Yes Separation: 1 Hr. Exception:

Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Table with 6 columns: STORY NO., DESCRIPTION AND USE, (A) BLDG AREA PER STORY (ACTUAL), (B) TABLE 506.2\* AREA, (C) AREA FOR FRONTAGE INCREASE(S), (D) ALLOWABLE AREA PER STORY OR UNLIMITED(S).

\* Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width (F): 818'
b. Total Building Perimeter (P): 1,138'
c. Ratio (F/P): 818/1,138 = 0.72
d. W = Minimum width of public way (W): 29.1'
e. Percent of frontage increase: I = 100(F/P - 0.25) x W/30 = 100(0.72 - 0.25) x 29.1/30 = 46%

ALLOWABLE HEIGHT

Table with 4 columns: ALLOWABLE, SHOWN ON PLANS, CODE REFERENCE. Shows building height in feet and stories.

\* Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

Table with 4 columns: BUILDING ELEMENT, RATING, DETAIL #, SHEET # FOR.

2018 NC Administrative Code and Policies

Large table with 10 columns: FIRE SEPARATION DISTANCE, REQ'D, PROVIDED, AND SHEET #, DESIGN #, FOR RATED ASSEMBLY, RATED PENETRATION, SHEET # FOR RATED JOINTS. Contains fire rating data for structural frame, bearing walls, nonbearing walls, etc.

\* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS N/A

Table with 4 columns: FIRE SEPARATION DISTANCE, DEGREE OF OPENINGS PROTECTION, ALLOWABLE AREA (%), ACTUAL SHOWN ON PLANS (%).

LIFE SAFETY SYSTEM REQUIREMENTS

2018 NC Administrative Code and Policies

Emergency Lighting: Yes
Exit Signs: Yes
Fire Alarm: Yes
Smoke Detection Systems: Yes
Carbon Monoxide Detection: No

LIFE SAFETY PLAN REQUIREMENTS

- List of Life Safety Plan Sheet # G003 requirements including fire and/or smoke rated wall locations, assumed and real property line locations, exterior wall opening area, occupant loads, travel distances, clear exit widths, etc.

ACCESSIBLE DWELLING UNITS N/A (SECTION 1107)

Table with 8 columns: TOTAL UNITS, ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE A UNITS REQUIRED, TYPE A UNITS PROVIDED, TYPE B UNITS REQUIRED, TYPE B UNITS PROVIDED, TOTAL ACCESSIBLE UNITS PROVIDED.

ACCESSIBLE PARKING N/A (EXISTING TO REMAIN) (SECTION 1106)

Table with 6 columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES REQUIRED, TOTAL # OF ACCESSIBLE SPACES PROVIDED, VAN SPACES WITH 5' ACCESS AISLE, VAN SPACES WITH 132' ACCESS AISLE, VAN SPACES WITH 8' ACCESS AISLE, TOTAL # OF ACCESSIBLE UNITS PROVIDED.

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

2018 NC Administrative Code and Policies

Table with 10 columns: USE, WATER CLOSETS, URINALS, LAVATORIES, SHOWER, DRINKING FOUNTAINS. Lists plumbing fixture counts for existing and new construction.

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)
Third party steel inspections

ENERGY SUMMARY

ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided.

Existing building envelope complies with code: Yes (The remainder of this section is not applicable)

Exempt Building: Select one Provide code or statutory reference:

Climate Zone: Select one
Method of Compliance: ASHRAE 90.1 - Prescriptive (If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Skylights in each assembly:
total square footage of skylights in each assembly:
Exterior Walls (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing)
U-Value of assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values:
Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors slab on grade
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

2018 NC Administrative Code and Policies

Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:

Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
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Description of assembly:
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Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:

2018 APPENDIX B

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
STRUCTURAL DESIGN
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:

Importance Factors: Snow (Is) 1.0
Seismic (Is) 1.0
Live Loads: Roof 30 psf
Mezzanine psf
Floor psf
Ground Snow Load: 250 psf
Wind Load: Ultimate Wind Speed 100 mph (ASCE-7)
Exposure Category C

SEISMIC DESIGN CATEGORY: Select one

Provide the following Seismic Design Parameters: Risk Category (Table 1604.5) III
Spectral Response Acceleration Ss 0.12 % Sd 0.144 %
Site Classification (ASCE 7) D
Data Source: Presumptive
Basic structural system Bearing Wall
Analysis Procedure: Equivalent Lateral Force
Architectural, Mechanical, Components anchored? Yes

LATERAL DESIGN CONTROL: Wind

SOIL BEARING CAPACITIES: Presumptive Bearing Capacity 2000 psf
Pile size, type, and capacity N/A

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(MECHANICAL DESIGN)
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
winter dry bulb:
summer dry bulb:
Interior design conditions
winter dry bulb:
summer dry bulb:
relative humidity:
Building heating load:
Building cooling load:
Mechanical Spacing Conditioning System
Unitary
description of unit:
heating efficiency:
cooling efficiency:
size category of unit:
Boiler
Size category, if oversized, state reason:
Chiller
Size category, if oversized, state reason:

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
ELECTRICAL DESIGN
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: ASHRAE 90.1 - Prescriptive

Lighting schedule (each fixture type)
lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed

Additional Efficiency Package Options (When using the 2018 NCECC; not required for ASHRAE 90.1)

- Checkboxes for efficiency options: C406.2 More Efficient HVAC Equipment Performance, C406.3 Reduced Lighting Power Density, C406.4 Enhanced Digital Lighting Controls, C406.5 On-Site Renewable Energy, C406.6 Dedicated Outdoor Air System, C406.7 Reduced Energy Use in Service Water Heating

Revisions
No. Date Description

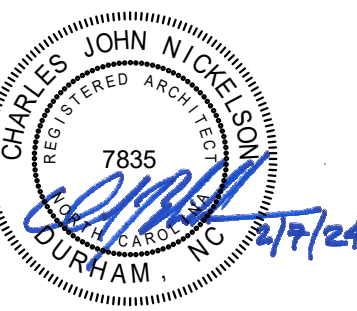
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Project Number: 2105.04
Drawn: KBL/STP/RZ
Checked: C/JN
Date: 2/2/2024

BUILDING CODE SUMMARY

Sheet Number

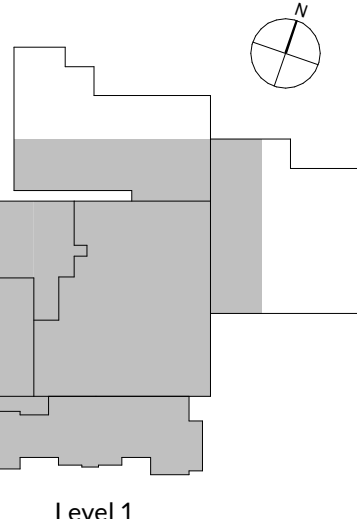
G002



### Francis Center Health Sciences Renovation - Phase 4

762 East Haggard Ave., Elon, NC

Key Plan



Revisions	No.	Date	Description

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Sheet Title: LIFE SAFETY PLANS  
Sheet Number

#### Life Safety Legend

Rated Wall: 1-Hour	
Rated Wall: 2-Hour	
Rated Wall: 3-Hour Firewall	
Suite Boundary	
Scope of Work Boundary	
Common Path of Travel	
Maximum Travel Distance	
Separation of Exits	
Total Diagonal Distance	
Most Remote Point	
End of Common Path of Travel	
Exit (with occupant load)	
Egress Load Arrow	
Panic Hardware	
Emergency Exit Lights	

#### Occupancy Load B

Name	Area	Occupancy Load	Area per Occupant
Not Placed			
Business Suite	0	0	100
Class/Lab	0	0	20
Not Placed: 5	0	0	20
<b>Level 1</b>			
Business	38,498	386	100
Class/Lab	7,171	361	20
Exercise	1,262	26	50
Lab -Voc.	15,930	322	50
Lockers	1,588	32	50
Mech	1,824	8	300
Storage	1,471	19	100
Terrace	1,983	133	15
Level 1: 29	69,728	1287	
<b>Level 2</b>			
Business	10,558	107	100
Class/Lab	4,470	224	20
Lab -Voc.	3,328	67	50
Mech	905	4	300
Storage	523	7	100
Level 2: 9	19,785	409	
Grand total: 43	89,513	1696	

#### Exit Notes

Total Number of Public Entrances	6
Total Number of Accessible Public Entrances	4
Number of Main Exits	6
Number of Accessible Exits	4

Level 1:  
Total Exit Width Required = Occupant Load x 0.2 = 1,337 x 0.2 = 268"  
Total Exit Width Provided = 2 exits at 64" + 3 exits at 32" + 1 exit at 102" = 326"

#### Level 1 Exit Distances

Path Name	Actual Travel Distance	Total Allowed Distance
Common Travel Path X to C (B)	16'	100'
Maximum Travel Path X to Exit (B)	15'	300'

#### Level 2 Exit Distances

Path Name	Actual Travel Distance	Total Allowed Distance
Maximum Travel Path X to Exit (B)	156'	300'



**5 Life Safety Plan - Basement**  
G003 1/16" = 1'-0"

**3 Life Safety Plan - Level 1**  
G003 1/16" = 1'-0"

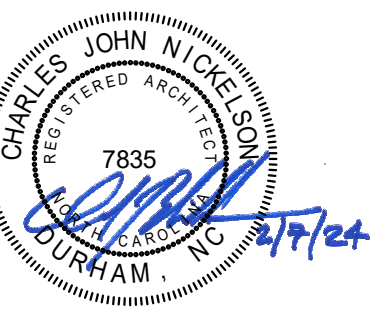
**4 Life Safety Plan - Level 2**  
G003 1/16" = 1'-0"

**2 Level 2 Building Areas - Key Plan**  
G003 1" = 60'-0"

**1 Level 1 Building Areas - Key Plan**  
G003 1" = 60'-0"

#### Building Construction Types

	Building 1 Type II-B
	Building 3 - Type I-B
	Building 4 Type I-B



Francis Center  
Health Sciences  
Renovation -  
Phase 4

762 East Haggard Ave., Elon, NC

Key Plan

Plan Legend		P, M, E, & FP Legend		Abbreviations	
1-Hour Rated Fire Barrier		See Plumbing, Mechanical, Electrical, and Fire Protection Engineering Drawings for Device, Fixture Quantities and Types. Architectural plans show devices for reference only.	Acoustical Ceiling Tile and Grid	ACT	
2-Hour Rated Fire Wall		Sprinkler Head	Above Finished Floor	AFF	
Scope of Work Boundary		Can Light	Aluminum	ALLUM	
Existing Partition to Remain		Strip or Pendant Light Fixture	Below Finished Floor	BFF	
Temporary Dust Partition		1x4 Lay-in Light Fixture	Concrete Masonry Unit	CMU	
Existing partitions, doors or other items to be demolished		2 x 2 Lay-in Light Fixture	Continuous	CONT.	
Demolition Note keyed to plan (Note: Not all items keyed to plan)		2 x 4 Lay-in Light Fixture	Control Joint	CJ	
Renovation Note keyed to plan		Supply Air Diffuser	Electric Water Cooler	EWC	
New Interior Partition		Return Air Diffuser	Electrical Panel	EP	
Partition ID Tag, see Wall Types		Exit Light	Equal	EQ	
Masonry Partition		Emergency Light	Existing	EX	
Line of Soffit Above		Smoke Detector	Existing to Remain	ETR	
ADA Clearance Area or Furniture Not in Contract		Occupancy Sensor	Expansion Joint	EJ	
Room Name, Number, and Area		Speaker	Field Verify/Field Measure	FV	
Door I.D., see Door & Frame Schedule		Wireless Access Point	Finished Floor Elevation	FEE	
Window/Storefront I.D., see Elevations			Fire Extinguisher Cabinet	FEC	
Spot Elevation AFF			Floor Drain	FD	
			Furniture	FURN	
			General Contractor	GC	
			Gypsum Board	GYR. BD.	
			Identification	ID	
			Metal	MTL	
			Not in Contract	NIC	
			On Center	OC	
			Opposite Hand	OH	
			Reflected Ceiling Plan	RCP	
			Road Drain	RD	
			Similar	SIM	
			Solid Core Wood Door	SCWD	
			Specifications	SPEC	
			Steel	STL	
			To be determined	TBD	
			Typical	TYP	
			Unless Noted Otherwise	UNO	
			With	W/	
			Wood	WD	

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**E. Specifications must be read in conjunction with the drawings to fully determine the scope of work required. Do not attempt to determine the scope of work without reading the specifications.**

**F. All existing building life safety components, such as exit signage, exit lights, fire alarm, sprinklers, etc., shall remain continuously operational and free of obstruction for areas outside of construction zone of work in order to maintain building occupancy during construction. Any building utility shut-downs that will affect other building occupants shall be coordinated with Owner with minimum 3 days' notification.**

**G. All fire-rated partitions shall be continuous to the underside of floor structure above. Existing partitions indicated as fire barriers that are not currently constructed as fire barriers, shall be added to or altered as necessary to bring them up to the required fire-rating construction as indicated. All fire rated walls and partitions shall be effectively and permanently identified with signs or stenciling. Such identification shall be above the ceiling and in concealed spaces. Suggested wording as appropriate, '2 HOUR RATED FIRE BARRIER - PROTECT ALL OPENINGS' or '1 HOUR RATED FIRE BARRIER - PROTECT ALL OPENINGS'**

**H. The General Contractor shall be responsible for patching and fire stopping all floor and roof openings left by the removal of P, M, and E ducts, pipes, and conduits.**

**J. All items scheduled to be removed shall be properly disposed of by the contractor unless specifically noted otherwise. The Owner reserves the right to claim any items removed during demolition.**

**K. Asbestos containing materials (ACM) are not known to be present in the space to be demolished and renovated. If the contractor encounters what he suspects to be ACM, they should not disturb the suspect materials and notify the owner immediately. The owner shall be responsible for removing hazardous materials discovered in project area upon notification by contractor.**

**L. Noted ceiling heights for new ceilings shall not be changed due to field conditions without express direction from the Architect. Coordinate trades carefully.**

**M. Notify Architect of building expansion joint locations.**

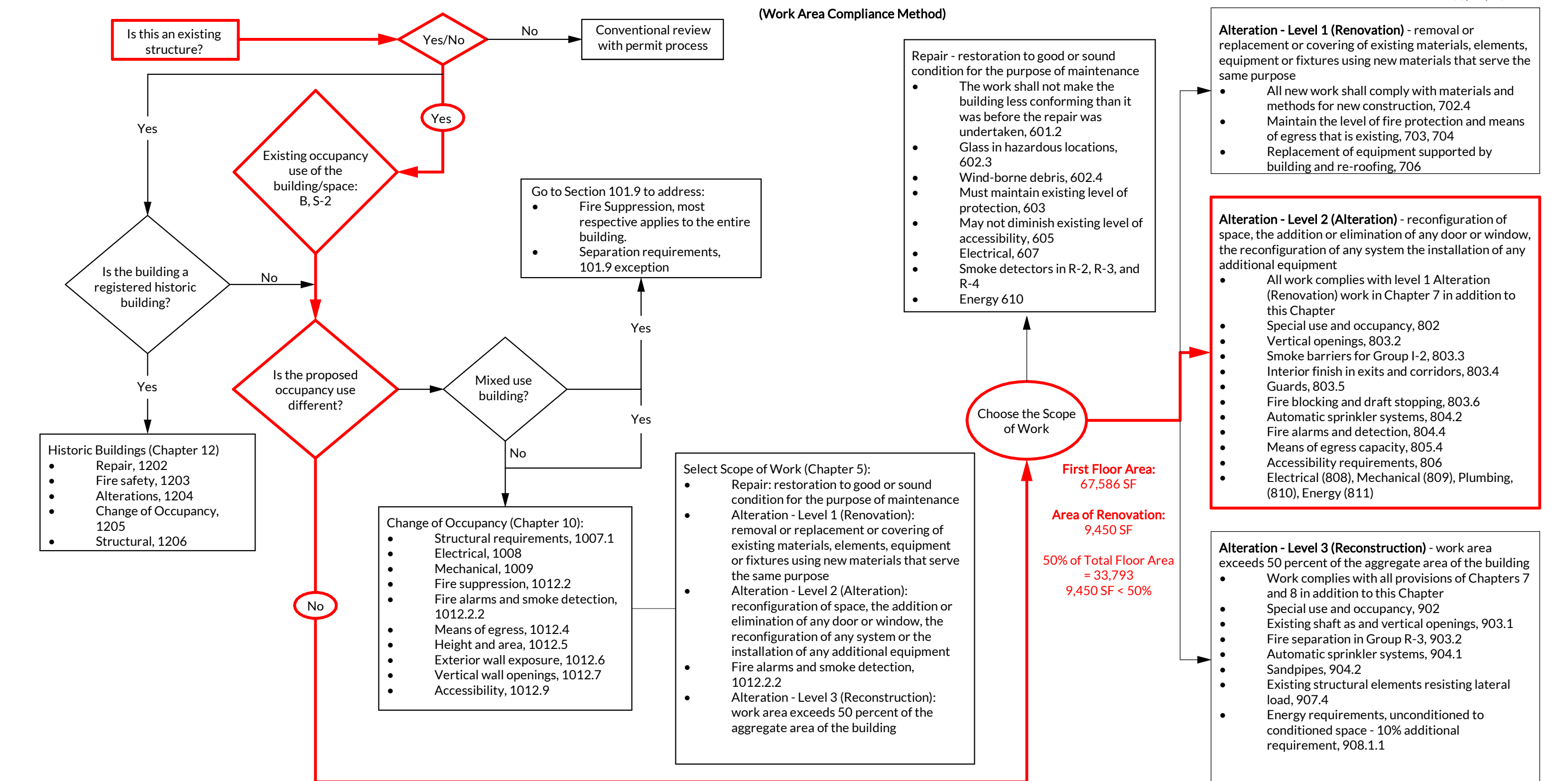
**N. The GC shall provide signage on all doors into the project area stating, "CONSTRUCTION SITE - NO ADMITTANCE". Sign shall be professionally made with easily visible letters on background indicating warning to staff and public. The GC shall provide walk-off mats as specified at each door leading from the construction area into other parts of the building**

**P. See Plumbing, Mechanical, Electrical, and Fire Protection drawings for further information.**

**Q. The General Contractor is responsible for:**

1. Providing all necessary access panels, with correct fire protection ratings, whether indicated or not on the drawings.
2. Access panels required shall include, but not limited to dampers, plumbing valves, junctions boxes and cleanouts
3. Patching and fire stopping all floor and roof openings left by the removal of P, M, and E ducts, pipes, and conduits.
4. Where existing walls are removed, repair floor substrates to receive new finishes. If area is to receive new tile, provide mortar bed as required.
5. Prepare existing slab to be level, flat, and finished as required for installation of finished floor materials per manufacturers' specifications. Where existing setting beds at tiled areas are removed, provide lightweight concrete fill up to level of adjacent substrate or to level required for new finishes.
6. Coordinate and provide blocking/backing in partitions behind all wall mounted items (millwork/shelving, files, etc.). All
7. Where lavatories, mirrors, accessories, etc. are scheduled to be removed from walls to remain, patch and paint walls to match existing where exposed to view.

NC Existing Building Code Decision Diagram



05/21/2021

Revisions	No.	Date	Description

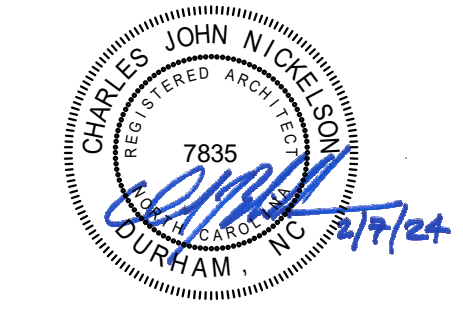
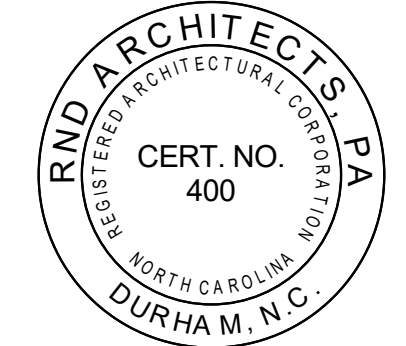
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Project Number: 2105.04  
Drawn: RGFZ  
Checked: CJN  
Date: 2/2/2024

Sheet Title  
**LEGENDS, ABBREVIATIONS & NOTES**

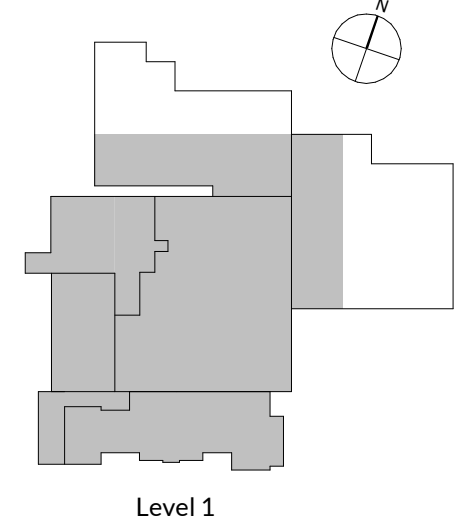
Sheet Number

**G004**



Francis Center Health Sciences Renovation - Phase 4

762 East Haggard Ave., Elon, NC  
Key Plan



Revisions	No.	Date	Description

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Original drawing is 30" x 42". Detail scale contents of this drawing.  
Project Number: 2105.04  
Drawn: RGFZ  
Checked: C/JN  
Date: 2/2/2024  
Sheet Title  
EXISTING LEVEL 1 PLAN OVERALL

Sheet Number  
**A101**

**Legend**

- 1-Hour Rated Fire Barrier
- 2-Hour Rated Fire Barrier
- 3-Hour Rated Fire Wall
- Suite Boundary
- Scope of Work Boundary
- Existing partitions, doors or other items to be demolished
- Demolition Note keyed to plan (Note: Not all items keyed to plan)
- Existing Partition to Remain
- Temporary Dust Barrier Partition
- Renovation Note keyed to plan
- New Interior Partition
- Partition ID Tag, see Partition Schedule
- Line of Soffit Above
- ADA Clearance Area or Furniture Not in Contract
- Section Mark
- Elevation Mark
- Room Number
- Door I.D., see Door & Frame Schedule
- Window/Storefront I.D., see Elevations
- Spot Elevation AFF

**Abbreviations:**

Acoustical Ceiling Tile and Grid	ACT
Above Finished Floor	AFF
Aluminum	ALUM
Below Finished Floor	BFF
Concrete Masonry Unit	CMU
Continuous	CONT.
Control Joint	CJ
Downspout	DS
Electric Water Cooler	EWC
Equal	EQ
Expansion Joint	EX
Existing	EX
Field Verify/Field Measure	FV
Finished Floor Elevation	FFE
Fire Extinguisher Cabinet	FEC
Floor Drain	FD
Furniture	FURN
General Contractor	GC
Gypsum Board	GYP. BD.
Identification	ID
Metal	MTL
Not in Contract	NIC
On Center	OC
Opposite Hand	OH
Reflected Ceiling Plan	RCP
Roof Drain	RD
Roof Leader	RL
Similar	SIM
Solid Core Wood Door	SCWD
Specifications/Project Manual	SPECS
Steel	STL
To be determined	TBD
Typical	TYP
Unless Noted Otherwise	UNO
With	W/
Wood	WD
Existing to Remain	XTR

**Notes**

A. See General Notes on Sheet G001, and Project Manual for general site conditions and requirements.

B. See Structural, Plumbing, Mechanical, Electrical, Fire Alarm and Fire Protection Drawings for further information.

C. GC to field verify/measure all dimensions. Notify Architect of any discrepancies between drawings and actual field dimensions prior to start of work. Dimensions at walls are to face of wall, unless noted otherwise. Architect cannot guarantee the accuracy of these drawings or of field conditions. Failure of the contractor to verify field conditions prior to start of work shall not relieve him of any problems or costs which might have been avoided had the contractor done so. Noted ceiling heights for new ceilings shall not be changed due to field conditions. Coordinate trades carefully prior to ceiling installation.

D. Provide signage on all doors into project area stating, "CONSTRUCTION SITE - NO ADMITTANCE" and Name of Project. Sign shall be professionally made with black letters on orange background.

E. The contractor shall provide walk-off mats as specified at each door leading from the construction area into other parts of the building. Cleanliness of contractor paths to/from staging area to be maintained.

F. All items scheduled to be removed shall be properly disposed of by the contractor unless specifically noted otherwise. The owner reserves the right to claim any items removed during demolition.

G. All interior partitions and gyp. bd. extend to deck, unless noted otherwise. Where existing walls are removed, repair/patch and level remaining floor substrate to receive new finishes.

H. Where intersecting walls have been removed during demolition, patch remaining walls to match existing construction and prepare to receive new finishes.

I. Grind unevenness and use flowable fill on concrete floor as required to create a level surface for new flooring throughout project area per manufacturer's requirements for each flooring type.

J. The General Contractor shall be responsible for patching and fireproofing all floor and roof openings left by the removal of P, M, and E ducts, pipes, and conduits.

K. All fire rated walls and partitions shall be effectively and permanently identified with signs and stenciling. Such identification shall be above the ceiling and in concealed spaces. Suggested wording: "FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS".

L. Notify Architect of building expansion joint locations. Joints in corridor walls must be replaced if demolished.

Note:  
Alternate 1: Demolish existing flooring and base in Alternate 1 area depicted on plans. Provide new flooring and base per Finish Schedule. Point up walls and paint to match existing.

Base Bid: No scope of work in Alternate 1 area.

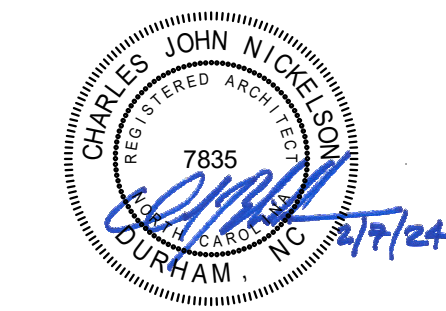
1  
A103

CONTRACTOR ENTRANCE



1 Existing Level 1 Plan Overall  
A101 3/32" = 1'-0"





Francis Center  
Health Sciences  
Renovation -  
Phase 4

762 East Haggard Ave., Elon, NC  
Key Plan

Revisions	No.	Date	Description

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Original drawing is 30" x 42". Do not scale contents of this drawing.  
Project Number: 2105.04  
Drawn: RGFZ  
Checked: C/JN  
Date: 2/2/2024

Sheet Title  
EXISTING LEVEL 2 PLAN  
OVERALL

Sheet Number

**A102**

**Legend**

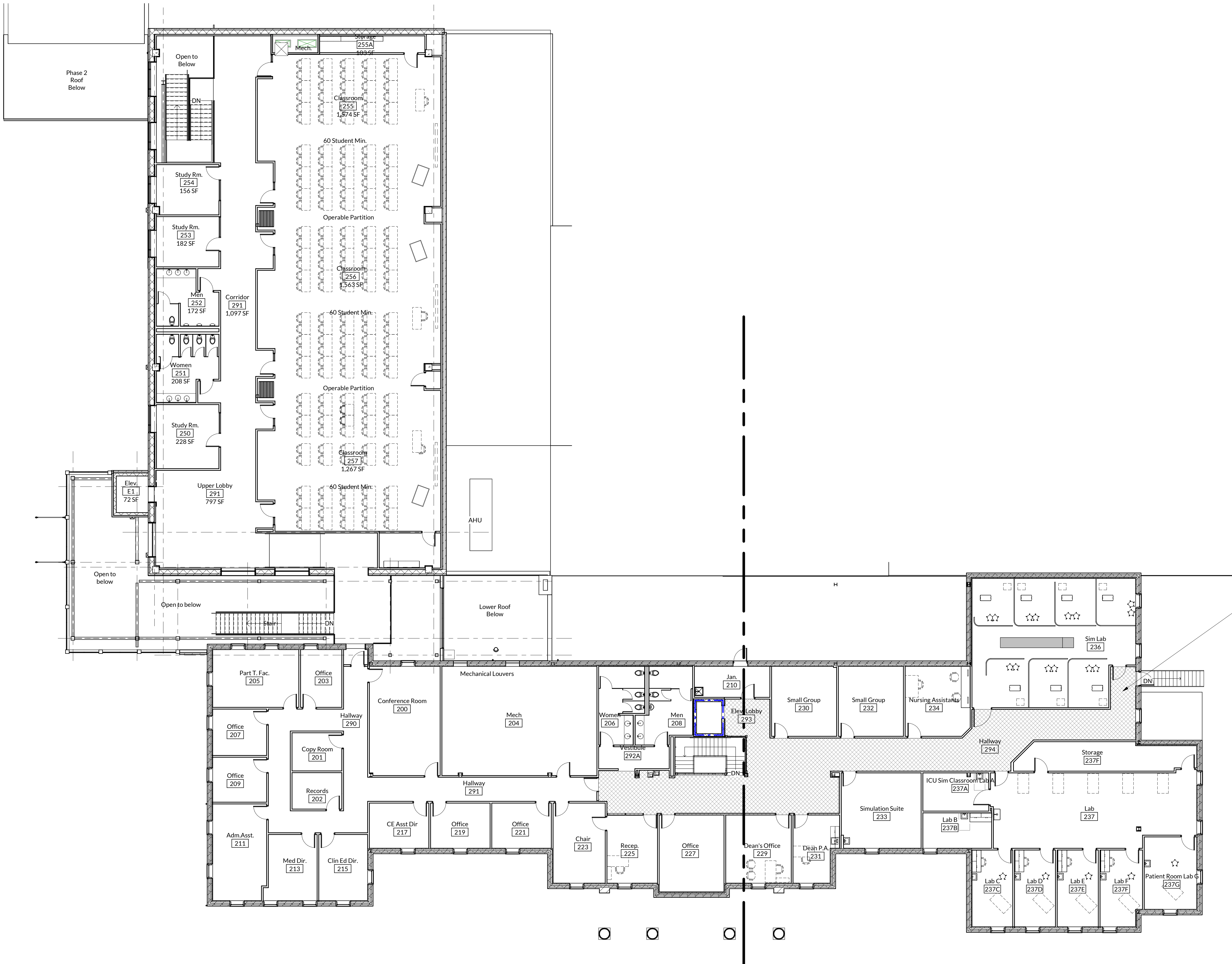
- 1-Hour Rated Fire Barrier
- 2-Hour Rated Fire Barrier
- 3-Hour Rated Fire Wall
- Suite Boundary
- Scope of Work Boundary
- Existing partitions, doors or other items to be demolished
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- Temporary Dust Barrier Partition
- Renovation Note keyed to plan
- New Interior Partition
- Partition ID Tag, see Partition Schedule
- Line of Soffit Above
- ADA Clearance Area or Furniture Not in Contract
- Section Mark
- Elevation Mark
- Room Number
- Door I.D., see Door & Frame Schedule
- Window/Storefront I.D., see Elevations
- Spot Elevation AFF

**Abbreviations:**

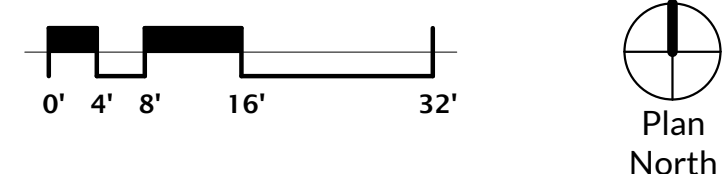
Acoustical Ceiling Tile and Grid	ACT
Above Finished Floor	AFF
Aluminum	ALUM
Below Finished Floor	BFF
Concrete Masonry Unit	CMU
Continuous	CONT.
Control Joint	CJ
Downspout	DS
Electric Water Cooler	EW
Equal	EQ
Expansion Joint	EJ
Existing	EX
Field Verify/Field Measure	FV
Finished Floor Elevation	FFE
Fire Extinguisher Cabinet	FEC
Floor Drain	FD
Furniture	FURN
General Contractor	GC
Gypsum Board	GYP. BD.
Identification	ID
Metal	MTL
Not in Contract	NIC
On Center	OC
Opposite Hand	OH
Reflected Ceiling Plan	RCP
Roof Drain	RD
Roof Leader	RL
Similar	SIM
Solid Core Wood Door	SCW
Specifications/Project Manual	SPECS
Steel	STL
To be determined	TBD
Typical	TYP
Unless Noted Otherwise	UNO
With	W/
Wood	WD
Existing to Remain	XTR

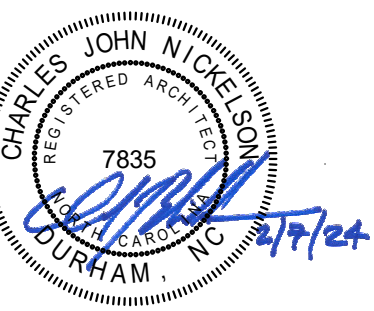
**Notes**

- See General Notes on Sheet G001, and Project Manual for general site conditions and requirements.
- See Structural, Plumbing, Mechanical, Electrical, Fire Alarm and Fire Protection Drawings for further information.
- GC to field verify/measure all dimensions. Notify Architect of any discrepancies between drawings and actual field dimensions prior to start of work. Dimensions at walls are to face of wall, unless noted otherwise. Architect cannot guarantee the accuracy of these drawings or of field conditions. Failure of the contractor to verify field conditions prior to start of work shall not relieve him of any problems or costs which might have been avoided had the contractor done so. Noted ceiling heights for new ceilings shall not be changed due to field conditions. Coordinate trades carefully prior to ceiling installation.
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- Where intersecting walls have been removed during demolition, patch remaining walls to match existing construction and prepare to receive new finishes.
- Grind unevenness and use flowable fill on concrete floor as required to create a level surface for new flooring throughout project area per manufacturer's requirements for each flooring type.
- The General Contractor shall be responsible for patching and firestopping all floor and roof openings left by the removal of P, M, and E ducts, pipes, and conduits.
- All fire rated walls and partitions shall be effectively and permanently identified with signs and stenciling. Such identification shall be above the ceiling and in concealed spaces. Suggested wording: FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS.
- Notify Architect of building expansion joint locations. Joints in corridor walls must be replaced if demolished.



**1 Existing Level 2 Plan Overall**  
A102 3/32" = 1'-0"

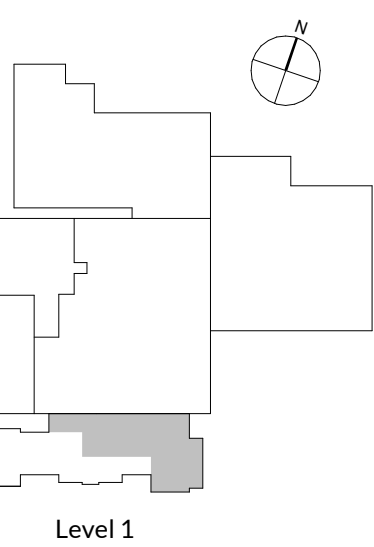




Francis Center  
Health Sciences  
Renovation -  
Phase 4

762 East Haggard Ave., Elon, NC

Key Plan



Revisions

No.	Date	Description
1	04/09/23	Bulletin B001

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Original drawing is 30" x 42". Do not scale contents of this drawing.

Project Number: 2105.04  
Drawn: MTM  
Checked: C/JN  
Date: 2/2/2024

Sheet Title  
**DEMOLITION PLAN LEVEL 1**

Sheet Number  
**A103**

**Legend**

- 1-Hour Rated Fire Barrier
- 2-Hour Rated Fire Barrier
- 3-Hour Rated Fire Wall
- Suite Boundary
- Scope of Work Boundary
- Existing partitions, doors or other items to be demolished
- Demolition Note keyed to plan (Note: Not all items keyed to plan)
- Existing Partition to Remain
- Temporary Dust Barrier Partition
- Renovation Note keyed to plan
- New Interior Partition
- Partition ID Tag, see Partition Schedule
- Line of Soffit Above
- ADA Clearance Area or Furniture Not in Contract
- Section Mark
- Elevation Mark
- Room Number
- Door I.D., see Door & Frame Schedule
- Window/Storefront I.D., see Elevations
- Spot Elevation AFF

**Abbreviations:**

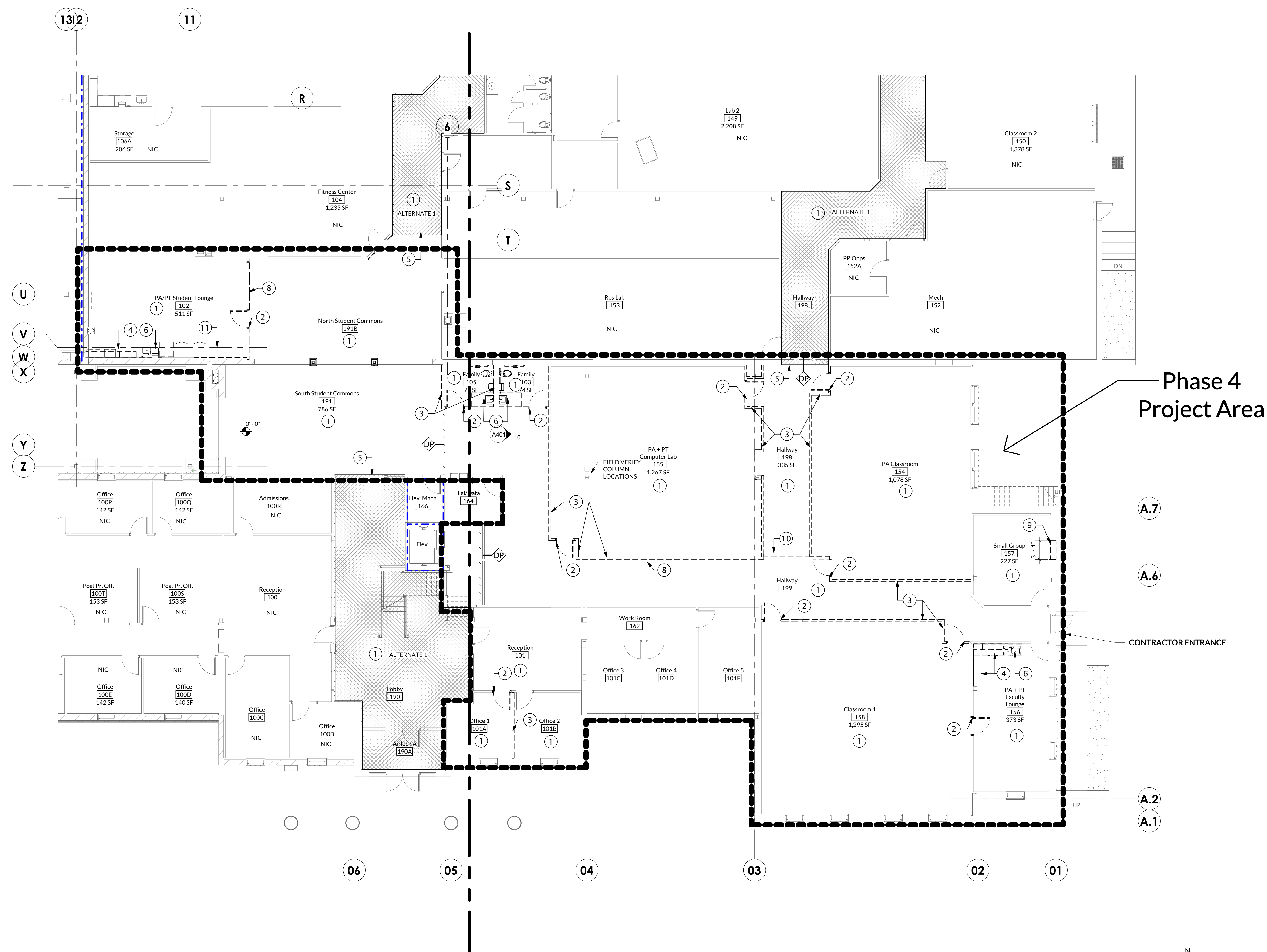
Acoustical Ceiling Tile and Grid	ACT
Above Finished Floor	AFF
Aluminum	ALUM
Below Finished Floor	BFF
Concrete Masonry Unit	CMU
Continuous	CONT.
Control Joint	CJ
Downspout	DS
Electric Water Cooler	EWC
Equal	EQ
Expansion Joint	EJ
Existing	EX
Field Verify/Field Measure	FV
Finished Floor Elevation	FFE
Fire Extinguisher Cabinet	FEC
Floor Drain	FD
Furniture	FURN
General Contractor	GC
Gypsum Board	GYP. BD.
Identification	ID
Meta	MTL
Not in Contract	NIC
On Center	OC
Opposite Hand	OH
Reflected Ceiling Plan	RCP
Roof Drain	RD
Roof Leader	RL
Similar	SIM
Solid Core Wood Door	SCW
Specifications/Project Manual	SPECS
Steel	STL
To be determined	TBD
Typical	TYP
Unless Noted Otherwise	UNO
With	W
Wood	WD
Existing to Remain	XTR

**Notes**

- See General Notes on Sheet G001, and Project Manual for general site conditions and requirements.
- See Structural, Plumbing, Mechanical, Electrical, Fire Alarm and Fire Protection Drawings for further information.
- GC to field verify/measure all dimensions. Notify Architect of any discrepancies between drawings and actual field dimensions prior to start of work. Dimensions at walls are to face of wall, unless noted otherwise. Architect cannot guarantee the accuracy of these drawings or of field conditions. Failure of the contractor to verify field conditions prior to start of work shall not relieve him of any problems or costs which might have been avoided had the contractor done so. Noted ceiling heights for new ceilings shall not be changed due to field conditions. Coordinate trades carefully prior to ceiling installation.
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- Where intersecting walls have been removed during demolition, patch remaining walls to match existing construction and prepare to receive new finishes.
- Grind unevenness and use flowable fill on concrete floor as required to create a level surface for new flooring throughout project area per manufacturers' requirements for each flooring type.
- The General Contractor shall be responsible for patching and firestopping all floor and roof openings left by the removal of P, M, and E ducts, pipes, and conduits.
- All fire rated walls and partitions shall be effectively and permanently identified with signs and stenciling. Such identification shall be above the ceiling and in concealed spaces. Suggested wording: FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS.
- Notify Architect of building expansion joint locations. Joints in corridor walls must be replaced if demolished.

**Keyed Demolition Notes**

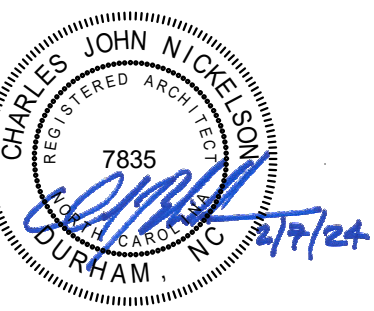
No.	Note
1	Demolish flooring and base
2	Demolish door and frame
3	Demolish metal framed gyp. bd. wall shown dashed
4	Demolish base cabinets, countertops, wall cabinets, and shelving shown dashed
5	Cut existing flooring in straight line to demo floor. Corridor flooring to remain
6	Demolish all plumbing fixtures and accessories, see Plumbing drawings
7	Existing casework to remain
8	Demolish existing storefront
9	Demolish portion of exterior wall for window shown dashed
10	Demolish cased opening shown dashed
11	Salvage and remove existing Owner Kitchen Equipment to be re-installed during renovation.



1/8" = 1'-0"

**1** Demolition Plan Level 1 Phase 4  
A103

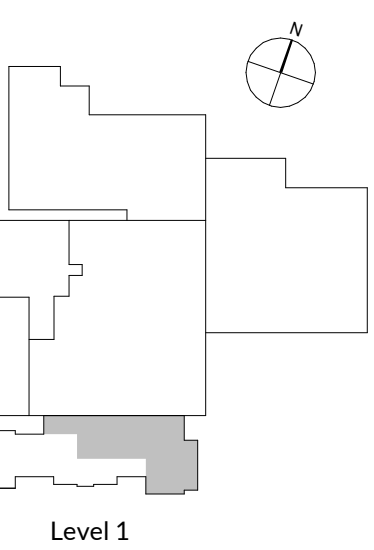
Plan North



## Francis Center Health Sciences Renovation - Phase 4

762 East Haggard Ave., Elon, NC

Key Plan



Level 1

Revisions	No.	Date	Description

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Project Number: 2105.04  
Drawn: MTM  
Checked: CJN  
Date: 2/2/2024

Sheet Title  
**DEMOLITION REFLECTED CEILING PLAN**

Sheet Number

# A104

### Ceiling Legend

1-Hour Rated Fire Barrier	
2-Hour Rated Fire Barrier	
3-Hour Rated Fire Wall	
Suite Boundary	
Scope of Work Boundary	
Existing Partition to Remain	
New Interior Partition	
Section Mark	Detail No. - Sheet No. -
Elevation Mark	Detail No. - Sheet No. -
Room Number	
Ceiling Height - A.F.F.	
Renovation Note keyed to plan	
Demolition Note keyed to plan (Note: Not all items keyed to plan)	
2'x2' Lay-in Acoustical Ceiling Tile and grid to be demolished	
2'x2' Lay-in Acoustical Ceiling Tile	
Gypsum Wallboard Soffit/Ceiling/or Bulkhead	
Recessed Light Fixture	
Strip or Pendant Fixture	
2x2 Fixture	
2x4 Fixture	
1x4 Fixture	
Supply Air Diffuser/Return	
Supply Air Diffuser	
Return Air Diffuser	
Exit Light	
Emergency Light	
Smoke Detector	

**Note:** Coordinate with P, M, FP & E Engineering Drawings for device and fixture quantities and types. Architectural plans show devices for location only, typical. See Finish Schedule for Ceiling Types.

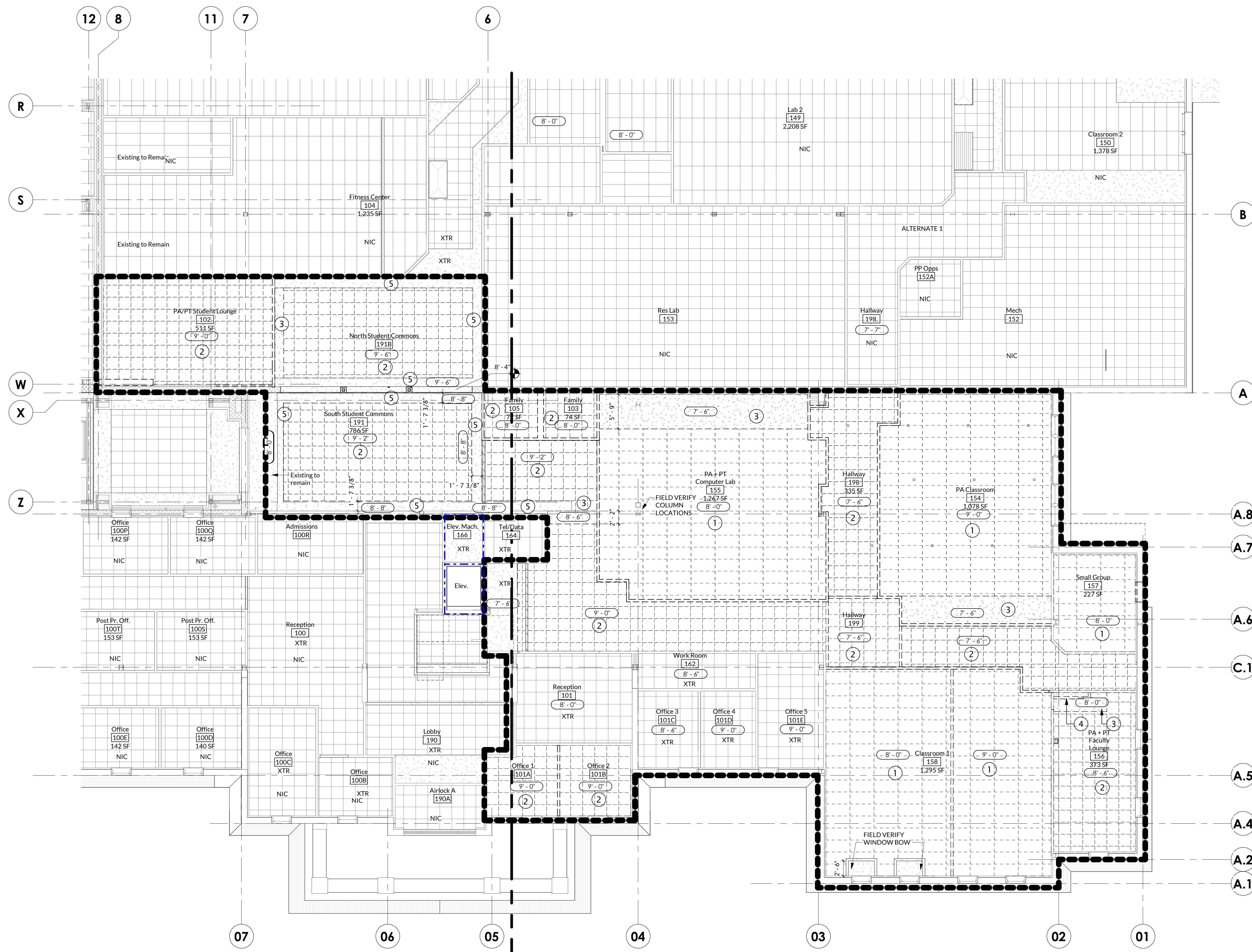
**Abbreviations:**

Acoustical Ceiling Tile and Grid	ACT
Above Finished Floor	AFF
Aluminum	ALUM
Below Finished Floor	BFF
Concrete Masonry Unit	CMU
Continuous	CONT.
Control Joint	CJ
Downspout	DS
Electric Water Cooler	EW
Equal	EQ
Expansion Joint	EJ
Existing	EX
Field Verify/Field Measure	FV
Finished Floor Elevation	FEE
Fire Extinguisher Cabinet	FEC
Floor Drain	FD
Furniture	FURN
General Contractor	GC
Gypsum Board	GYP. BD.
Identification	ID
Metal	MTL
Not in Contract	NIC
On Center	OC
Opposite Hand	OH
Reflected Ceiling Plan	RCP
Roof Drain	RD
Roof Leader	RL
Similar	SIM
Solid Core Wood Door	SCW
Specifications/Project Manual	SPECS
Steel	STL
To be determined	TBD
Typical	TYP
Unless Noted Otherwise	UNO
With	W/
Wood	WD
Existing to Remain	XTR

### Keyed RCP Demolition Notes

NOTE: See PME/FP Drawings for Ceiling Devices

No.	Note
1	Demolish 2x4 ACT grid and tile
2	Demolish 2x2 ACT grid and tile
3	Demolish gypsum board on metal framed soffit
4	Demolish bulkhead
5	Existing soffit to remain.



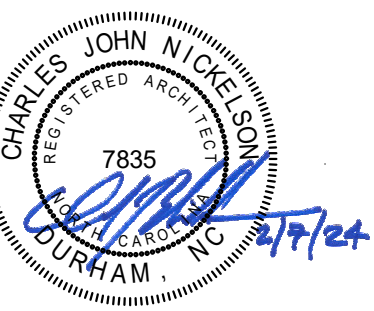
0' 2' 4' 8' 16'

**1** Demolition RCP - Level 1  
A104 1/8" = 1'-0"

N  
Plan North

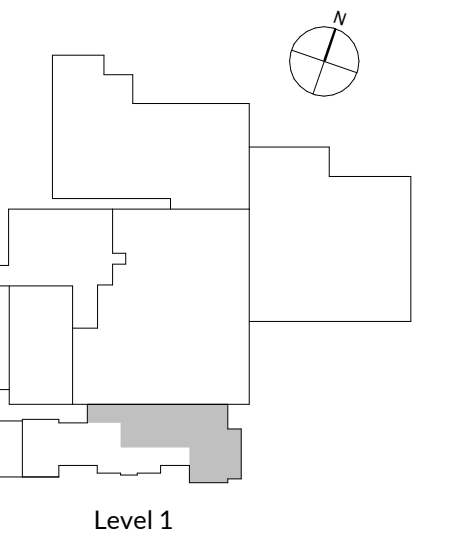


Professional Seal



**Francis Center  
Health Sciences  
Renovation -  
Phase 4**

762 East Haggard Ave., Elon, NC  
Key Plan



Revisions  
No. Date Description

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Project Number: 2105.04  
Drawn: RGF/Z  
Checked: C/JN  
Date: 2/2/2024  
Sheet Title  
**RENOVATION PLAN LEVEL 1 OVERALL**

Sheet Number  
**A201**

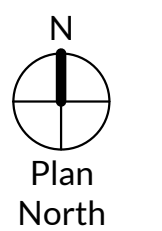


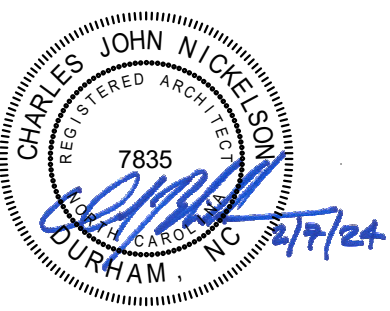
ALTERNATE 1 depicted crosshatched  
  
Note:  
Alternate 1: Demolish existing flooring and base in Alternate 1 area depicted on plans. Provide new flooring and base per Finish Schedule. Point up walls and paint to match existing.  
  
Base Bid: No scope of work in Alternate 1 area.

**Phase 4  
Project Area**

CONTRACTOR ENTRANCE

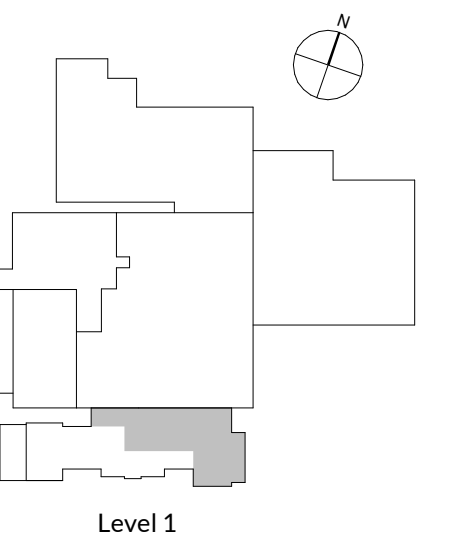
0' 4' 8' 16' 32'  
1 A201 Renovation Level 1 Plan Overall - Phase 4  
3/32" = 1'-0"





Francis Center  
Health Sciences  
Renovation -  
Phase 4

762 East Haggard Ave., Elon, NC  
Key Plan



Revisions	No.	Date	Description

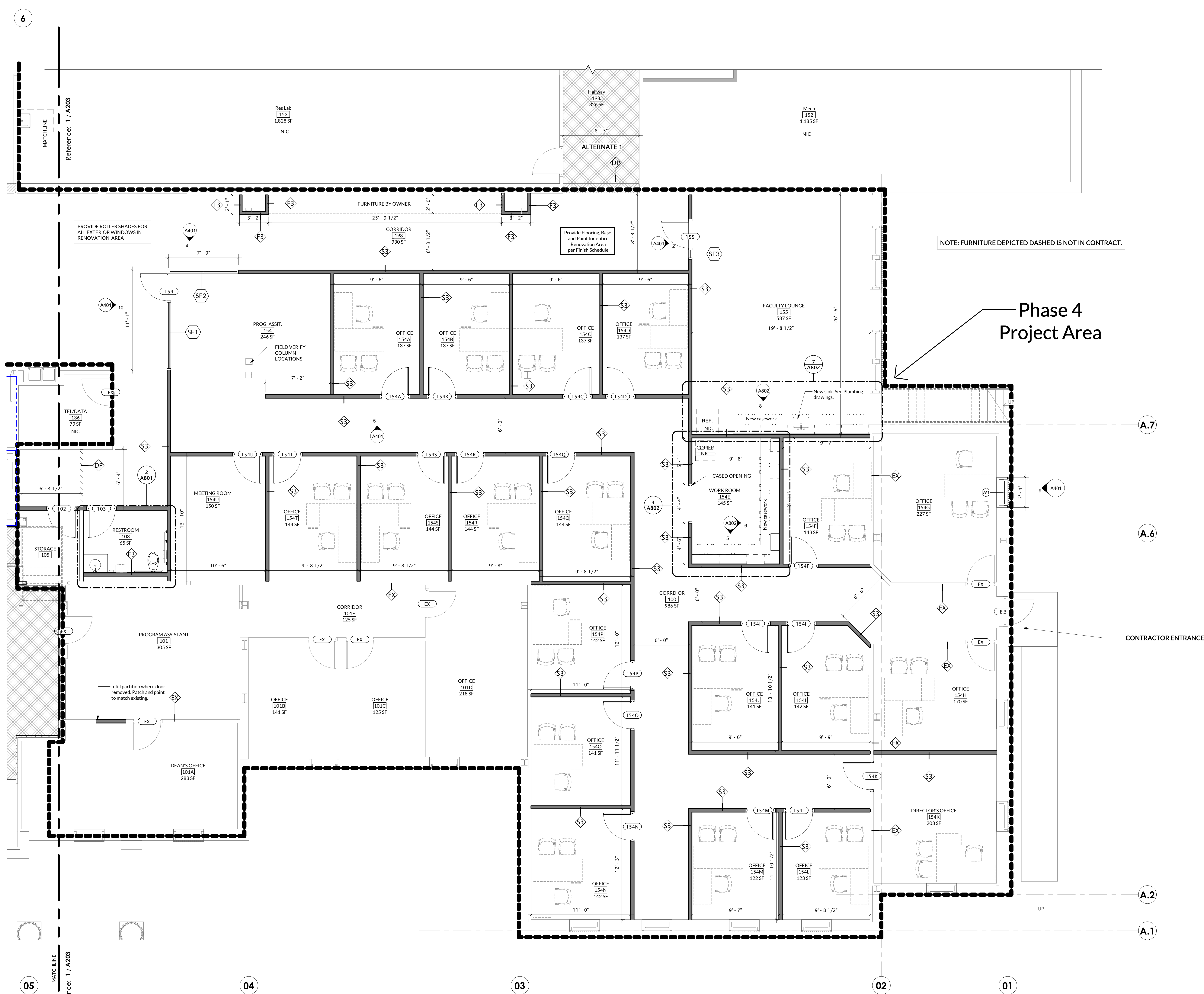
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Project Number: 2105.04  
Drawn: MTM  
Checked: CJN  
Date: 2/2/2024

Sheet Title  
**RENOVATION PLAN LEVEL 1 - OFFICES**

Sheet Number

**A202**



NOTE: FURNITURE DEPICTED DASHED IS NOT IN CONTRACT.

Phase 4  
Project Area

CONTRACTOR ENTRANCE

**1 Renovation Level - offices**  
A202 1/4" = 1'-0"



Plan North

6

05

04

03

02

01

A.2

A.1

A.7

A.6

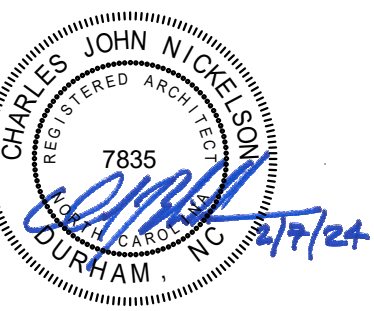
Reference: 1 / A203

Reference: 1 / A203

PROVIDE ROLLER SHADES FOR ALL EXTERIOR WINDOWS IN RENOVATION AREA

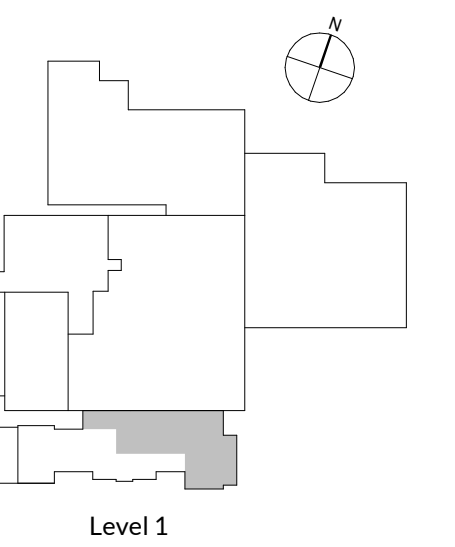
Provide Flooring, Base, and Paint for entire Renovation Area per Finish Schedule

FIELD VERIFY COLUMN LOCATIONS



Francis Center  
Health Sciences  
Renovation -  
Phase 4

762 East Haggard Ave., Elon, NC  
Key Plan



Revisions	No.	Date	Description

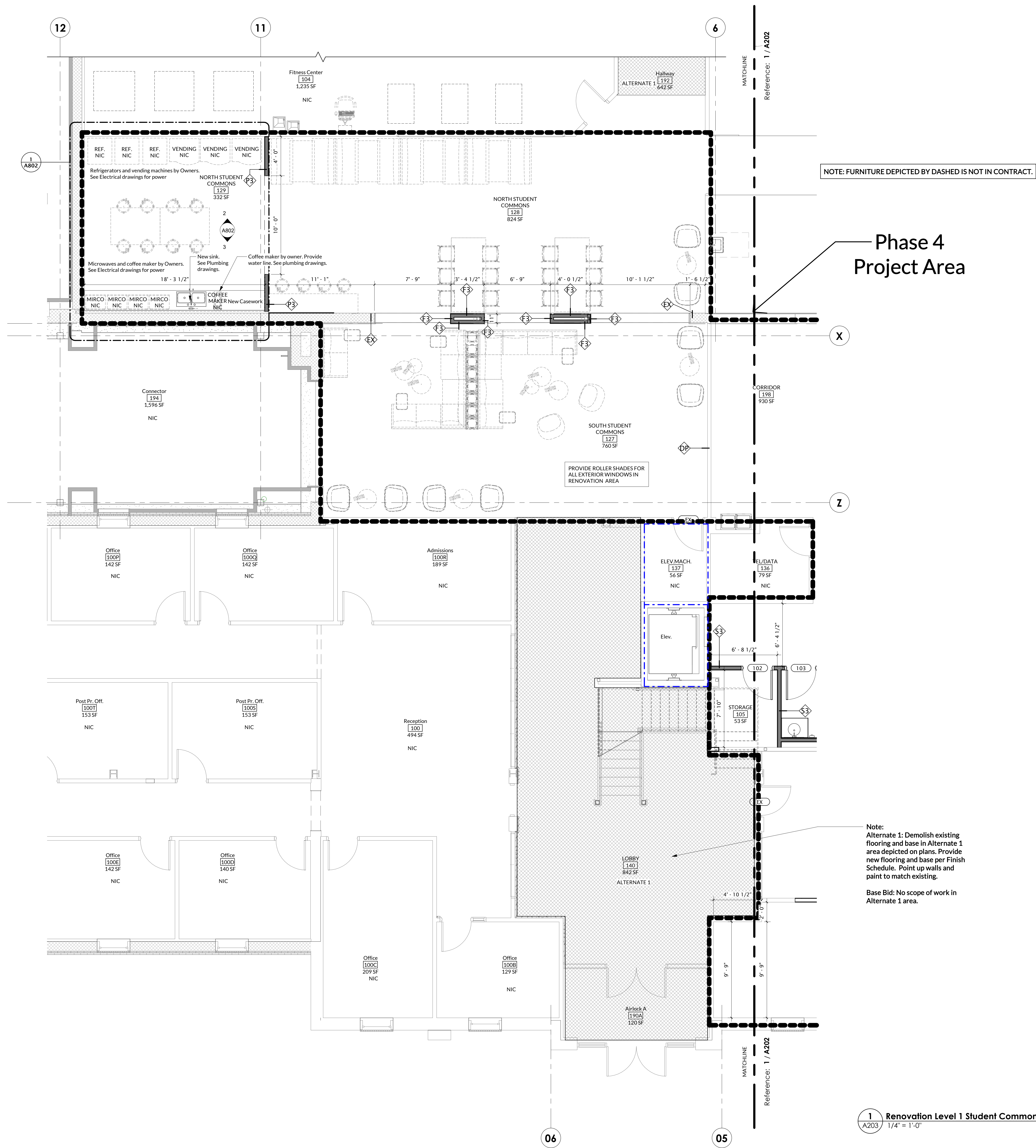
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Original drawing is 30" x 42". Do not scale contents of this drawing.  
Project Number: 2105.04  
Drawn: MTM  
Checked: C/JN  
Date: 2/2/2024

Sheet Title  
RENOVATION PLAN LEVEL 1 -  
STUDENT COMMONS

Sheet Number

**A203**

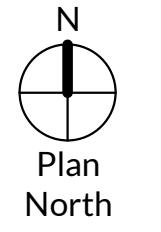


NOTE: FURNITURE DEPICTED BY DASHED IS NOT IN CONTRACT.

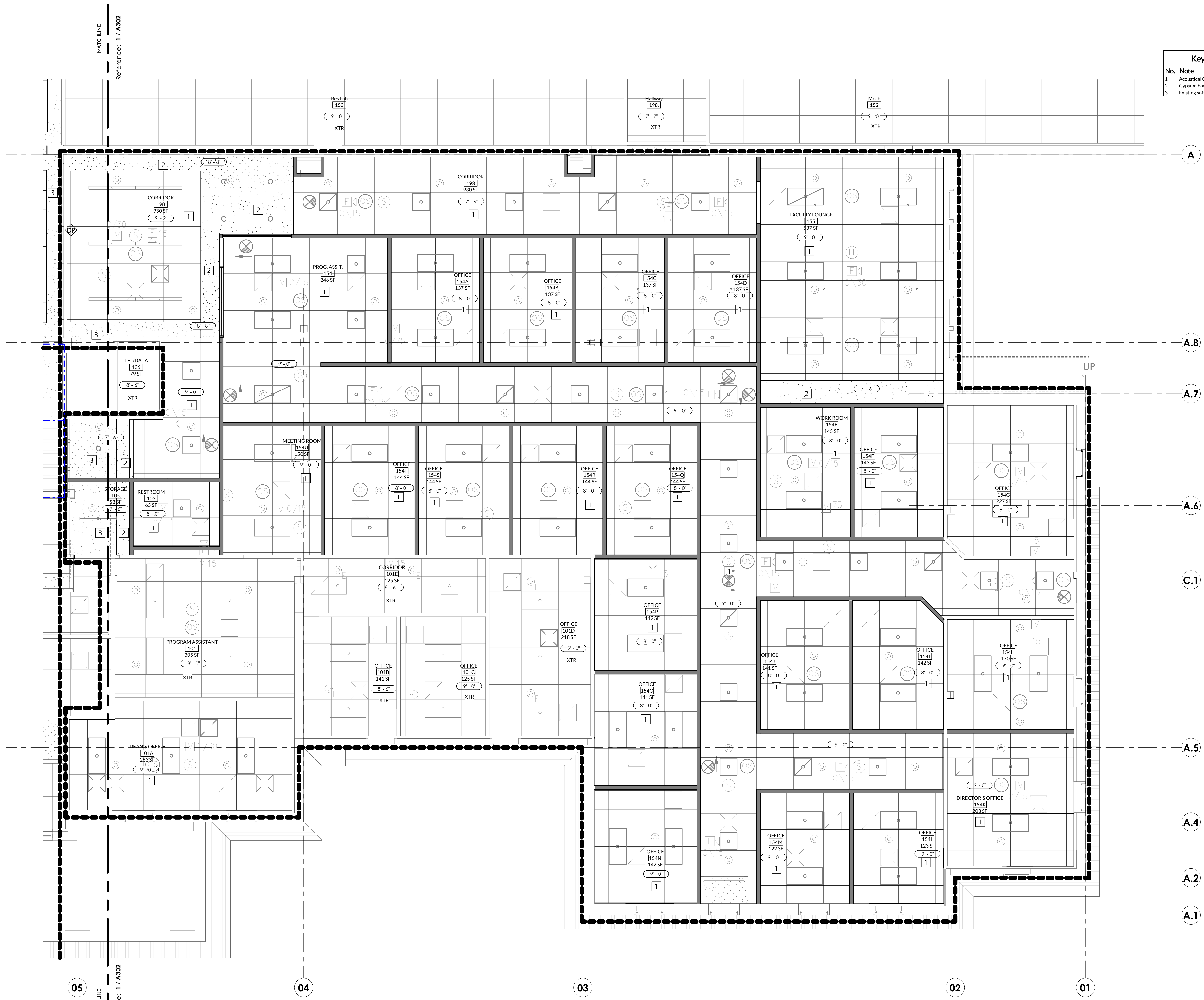
Phase 4  
Project Area

Note:  
Alternate 1: Demolish existing  
flooring and base in Alternate 1  
area depicted on plans. Provide  
new flooring and base per Finish  
Schedule. Point up walls and  
paint to match existing.  
  
Base Bid: No scope of work in  
Alternate 1 area.

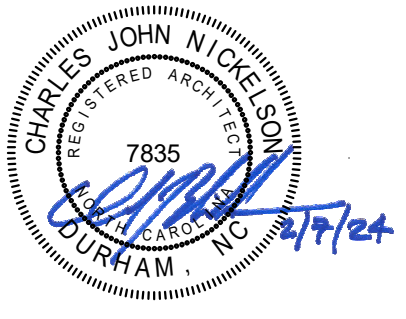
1 Renovation Level 1 Student Commons - Phase 4  
A203 1/4" = 1'-0"



Keyed RCP Renovation Notes	
No.	Note
1	Acoustical Ceiling Tile and Grid
2	Gypsum board soffit on metal framing
3	Existing soffit to remain

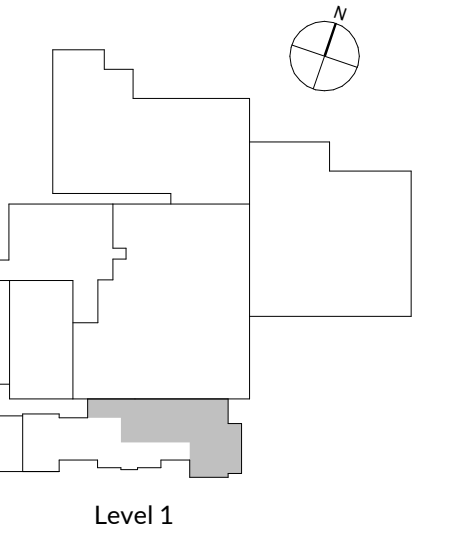


Professional Seal



**Francis Center  
Health Sciences  
Renovation -  
Phase 4**

762 East Haggard Ave., Elon, NC  
Key Plan



Revisions	No.	Date	Description

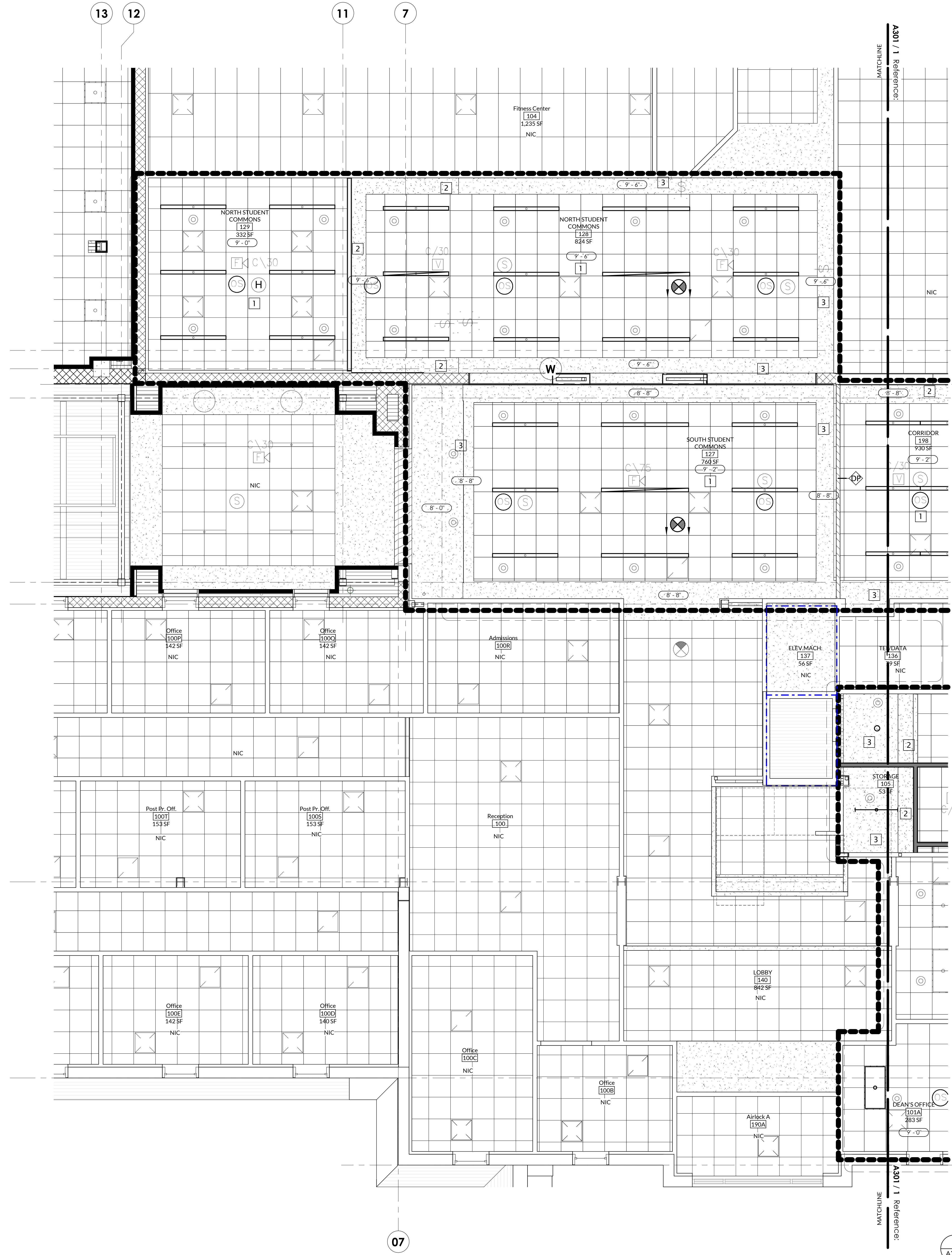
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Original drawing is 30" x 42". Do not scale contents of this drawing.  
Project Number: 2105.04  
Drawn: MTM  
Checked: CJN  
Date: 2/2/2024

Sheet Title  
**RENOVATION REFLECTED  
CEILING PLAN - OFFICES**

Sheet Number

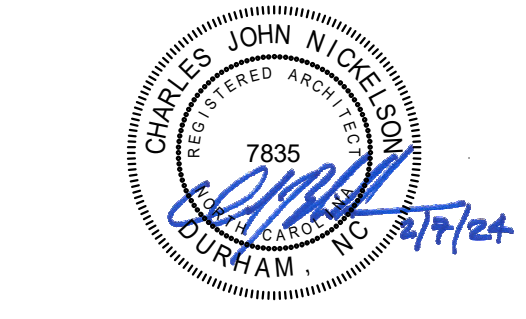
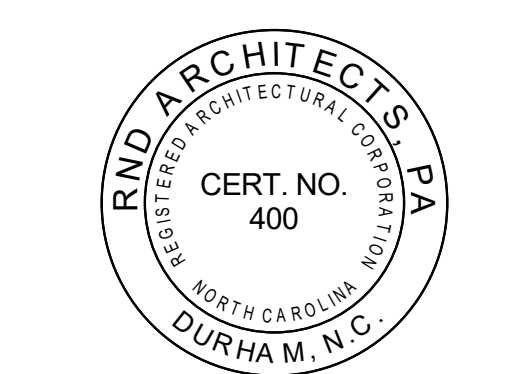
**A301**

**1** Renovation RCP Level 1 - Phase 4 - Offices  
A301 1/4" = 1'-0"



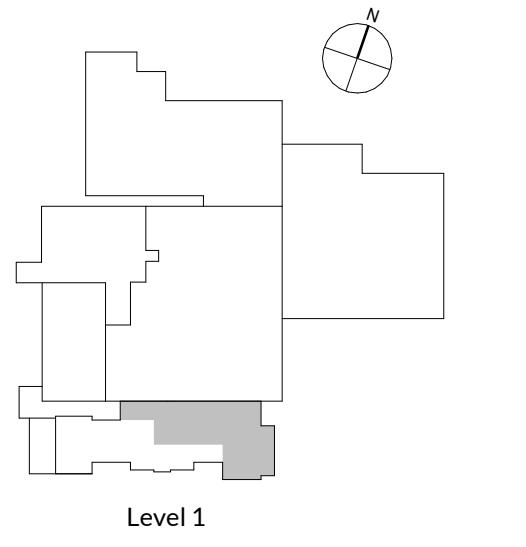
Keyed RCP Renovation Notes	
No.	Note
1	Acoustical Ceiling Tile and Grid
2	Gypsum board soffit on metal framing
3	Existing soffit to remain

Professional Seal



**Francis Center  
Health Sciences  
Renovation -  
Phase 4**

762 East Haggard Ave., Elon, NC  
Key Plan

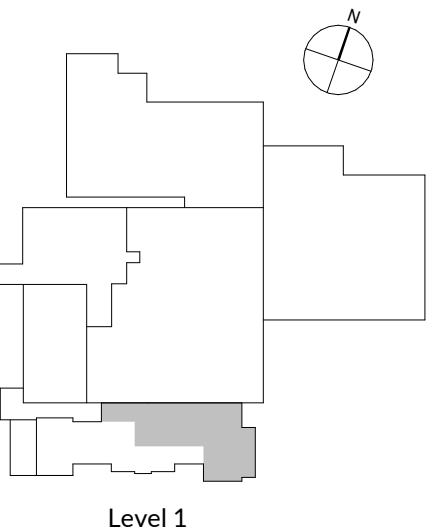


Revisions	No.	Date	Description

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Original drawing is 30" x 42". Do not scale contents of this drawing.  
Project Number: 2105.04  
Drawn: MTM  
Checked: CJN  
Date: 2/2/2024  
Sheet Title  
**RENOVATION REFLECTED  
CEILING PLAN - STUDENT  
COMMONS**  
Sheet Number

**A302**

**Renovation RCP Level 1 - Phase 4 - Student Commons**  
1  
A302 1/4" = 1'-0"



Revisions	No.	Date	Description

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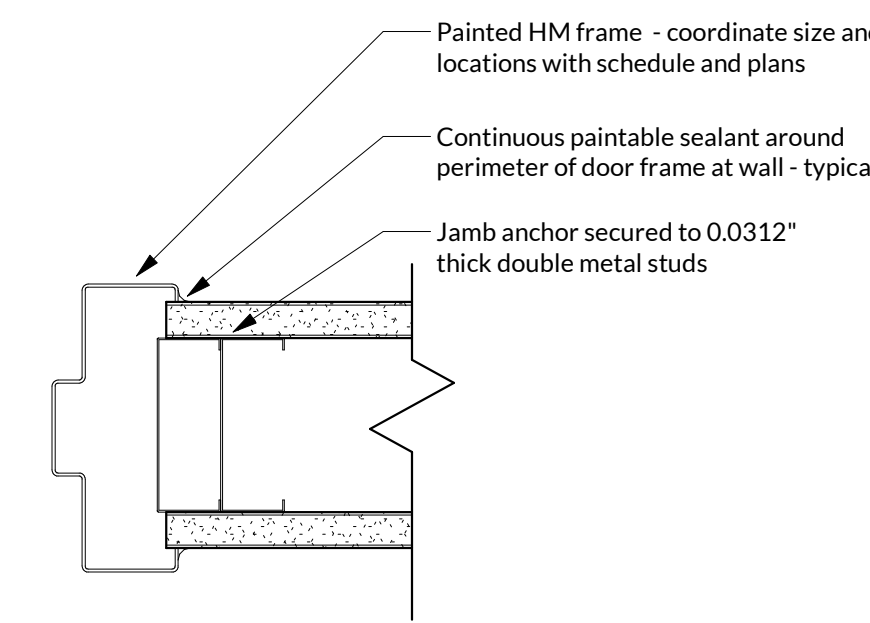
Original drawing is 30" x 42". Do not scale contents of this drawing.  
Project Number: 2105.04  
Drawn: RGFZ  
Checked: C/JN  
Date: 2/2/2024

Sheet Title  
WALL TYPES, DOOR SCHEDULE, STOREFRONT AND WINDOW ELEVATIONS

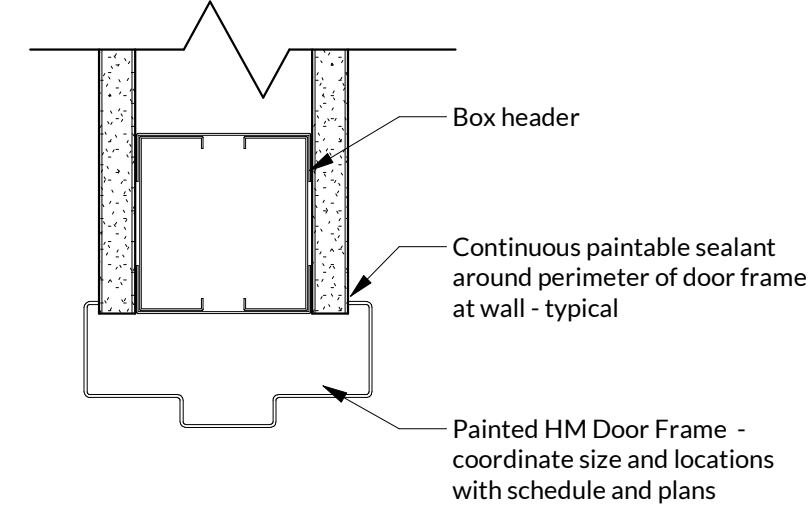
Sheet Number  
**A401**

Door and Frame Schedule									
Mark	Room	Type	Door		Frame		Fire Rating	Hardware	Comments
			Width	Height	Material	Type			
102	STORAGE	A	3'-0"	7'-0"	WD	HM1	NR	HW-3	
103	RESTROOM	A	3'-0"	7'-0"	WD	HM1	NR	HW-2	
154	PROG ASSIT.	SF13	3'-0"	7'-10"		SF1	NR	HW-4	
154A	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154B	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154C	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154D	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154E	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154I	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154J	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154K	DIRECTOR'S OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154L	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154M	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154N	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154O	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154P	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154Q	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154R	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154S	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154T	OFFICE	B	3'-0"	7'-0"	WD/GL1	HM1	NR	HW-1	
154U	MEETING ROOM	B	3'-0"	7'-0"	WD/GL1	SF2	NR	HW-1	
155	FACULTY LOUNGE	SF3	3'-0"	7'-0"	WD/GL1	SF3	NR	HW-4	

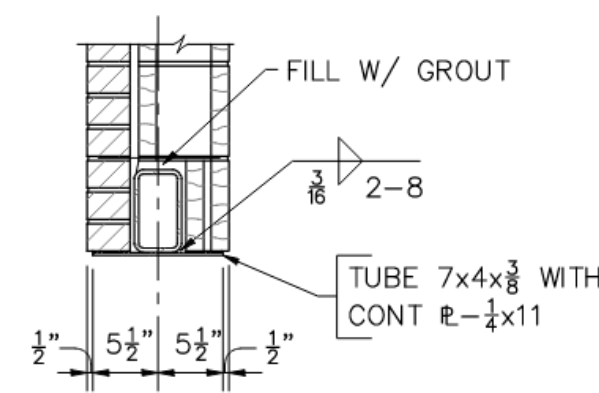
NOTE: DOOR FRAMES TO BE PAINTED PT 4; WOOD DOOR FINISH TO MATCH EXISTING. WOOD DOORS ARE REDOAK PLAIN SLICED 3119 BURNISHED WALNUT.



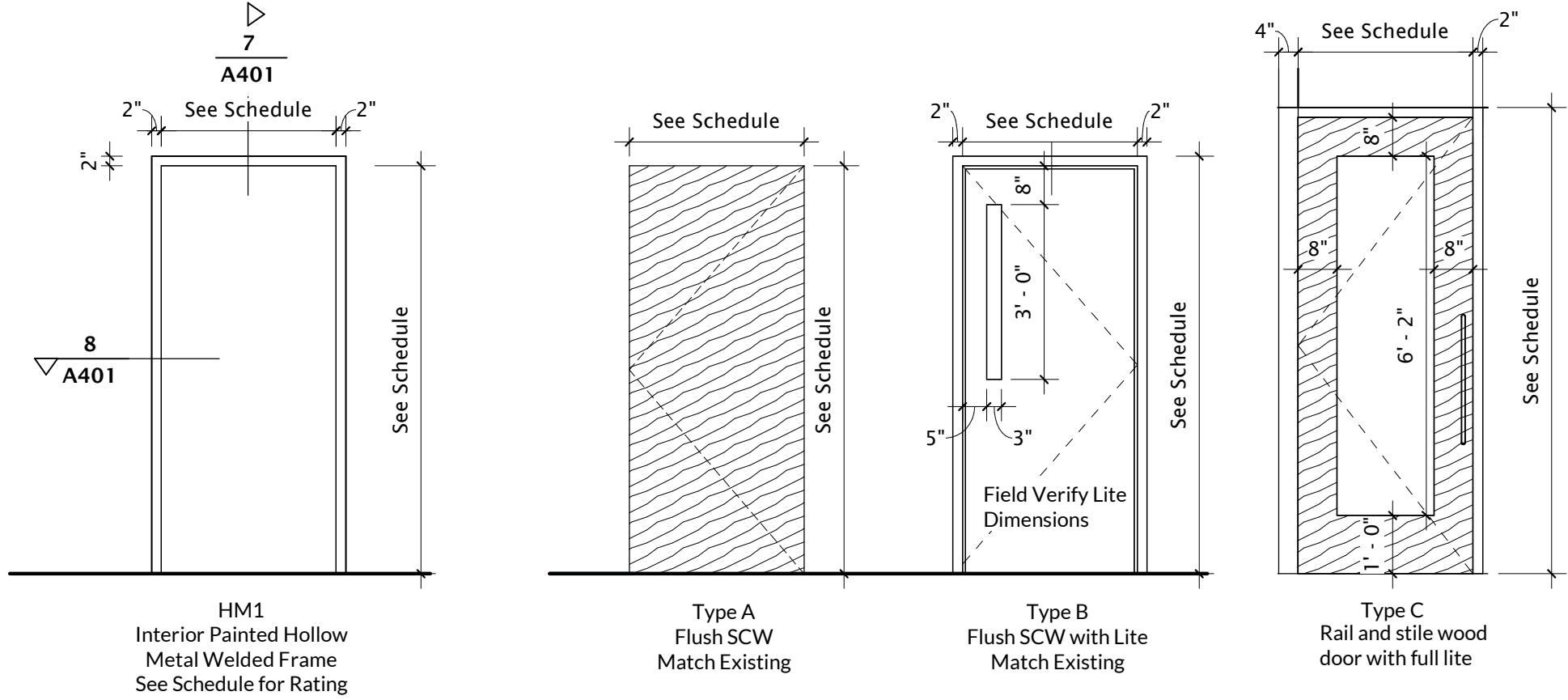
**8 HM Interior Door Jamb Detail**  
A401 3/8" = 1'-0"



**7 HM Interior Door Head Detail**  
A401 3/8" = 1'-0"



**9 EXTERIOR WALL OPENING DETAIL**



**6 HM Frame Types**  
A401 3/8" = 1'-0"

**5 Door Types**  
A401 3/8" = 1'-0"

**SECTION 087100.13 DOOR HARDWARE SCHEDULE**

- A. The hardware sets represent the design intent and direction of the owner and architect. They are a guideline only and should not be considered a detailed hardware schedule. Discrepancies, conflicting hardware and missing items should be brought to the attention of the architect with corrections made prior to the bidding process. Omitted items not included in a hardware set should be scheduled with the appropriate additional hardware required for proper application and functionality.
- B. The supplier is responsible for handing and sizing all products and providing the correct option for the appropriate door type and material where more than one is presented in the hardware sets. Quantities listed are for each pair of doors, or for each single door.

**Manufacturer's Abbreviations:**

- HA - Hager
- IV - Ives
- LC - LCN Closers
- SC - Schlage
- RO - Rockwood

**HW-1 - Offices**

3	Hinge	BB1279 4 1/2 X 4 1/2	US26D	HA
1	Lockset	NC73RD	626	SC
3	Silencers	608	GRAY	RO

**HW-2 - Toilet**

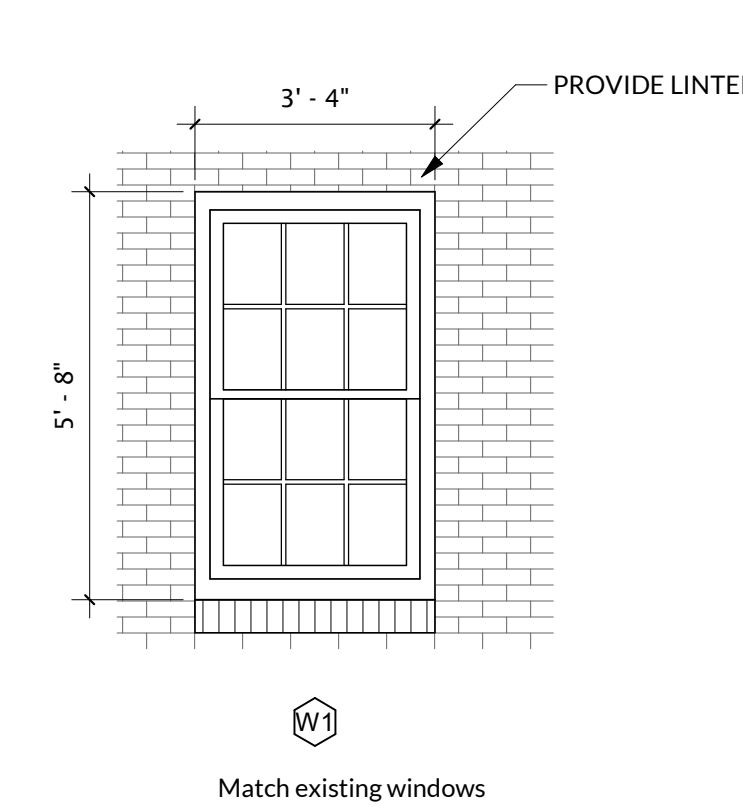
3	Hinge	BB1279 4 1/2 X 4 1/2	US26D	HA
1	Privacy Set	NC40S ATH 10-025 13-048	626	SC
1	Closer	4041 REG/PA TBSRT	AL	LC
1	Kickplate	8400 8" x 34"	US32D	IV
1	Wall Bumper	WS407CCV	US32D	IV
3	Silencers	608	GRAY	RO

**HW-3 - Storage**

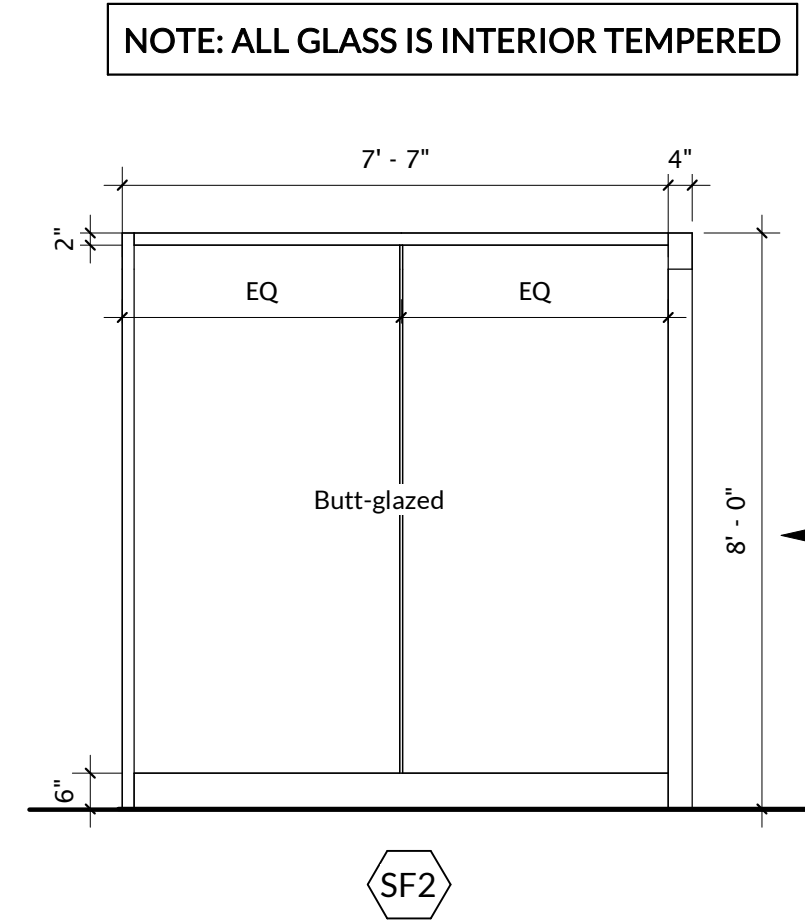
3	Hinge	BB1279 4 1/2 X 4 1/2	US26D	HA
1	Lockset	NC80RD ATH 10-025 13-047	626	SC
1	Closer	4041 REG/PA TBSRT	AL	LC
1	Kickplate	8400 8" x 34"	US32D	IV
1	Wall Bumper	WS407CCV	US32D	IV
3	Silencers	608	GRAY	RO

**HW-4 - Storefront**

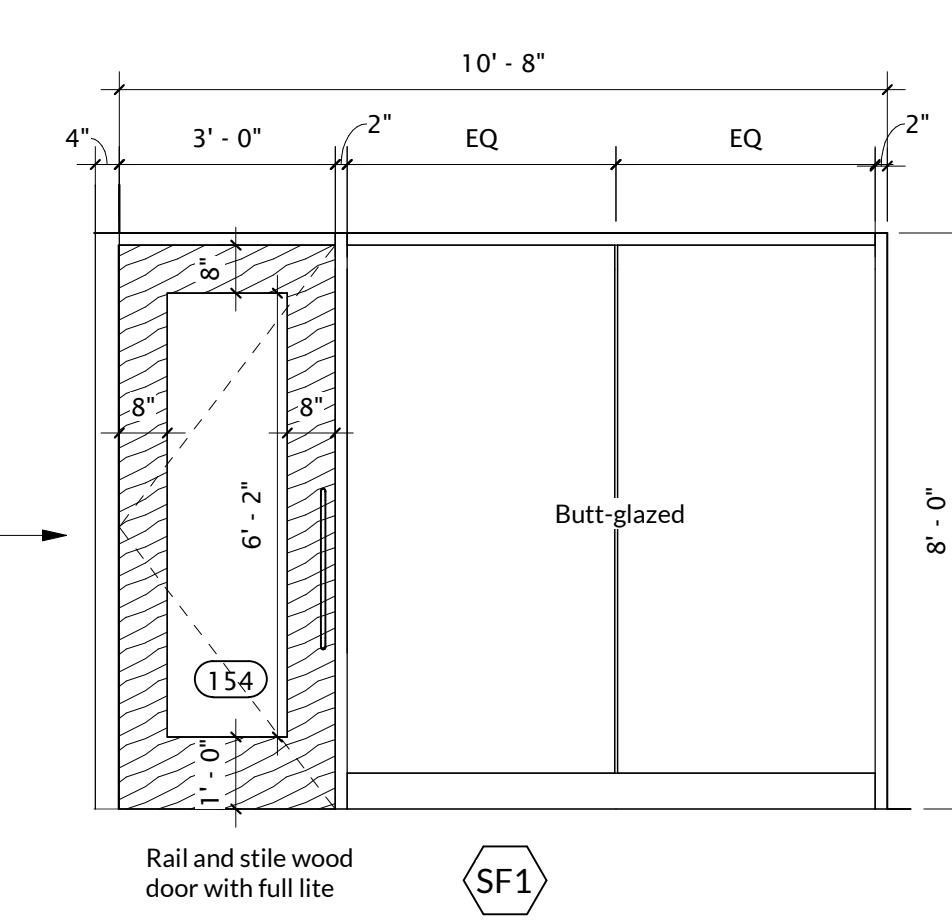
3	Hinge	BB1279 4 1/2 X 4 1/2	US26D	HA
2	Deadlock	B660J x 12-296 x 10-094 Single Cylinder outside, Turn Inside	626	SC
1	Closer	4040XP RWPA 689 TBSRT	AL	LC
1	Misc	4040XP-18th 689	689	LC
1	Push/Pull	9264 Optional flat tip (F) with (O) mounting hardware	US26D	IV
3	Silencers	608	GRAY	RO



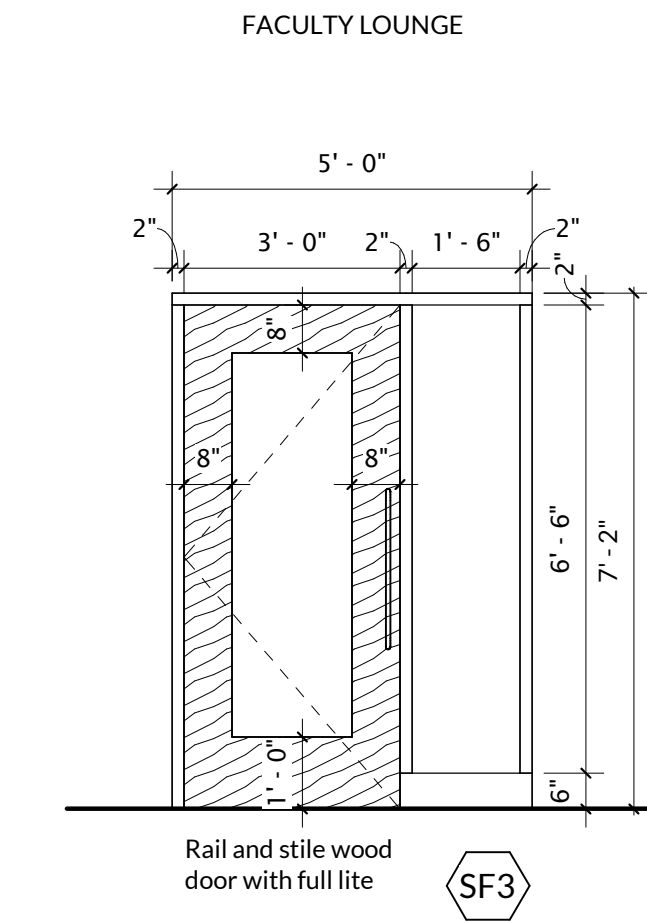
**9 EXTERIOR WINDOW ELEVATION**  
A401 3/8" = 1'-0"



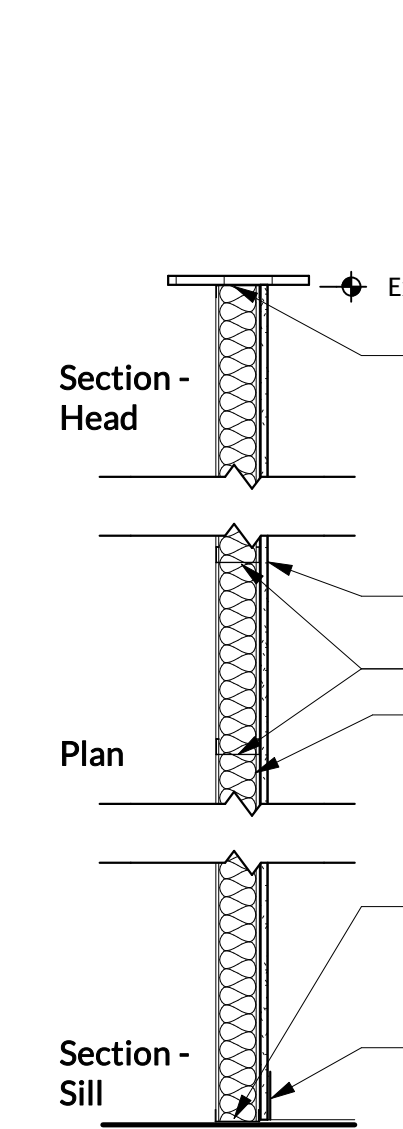
**4 STOREFRONT INTERIOR ELEVATION - SF2**  
A401 3/8" = 1'-0"



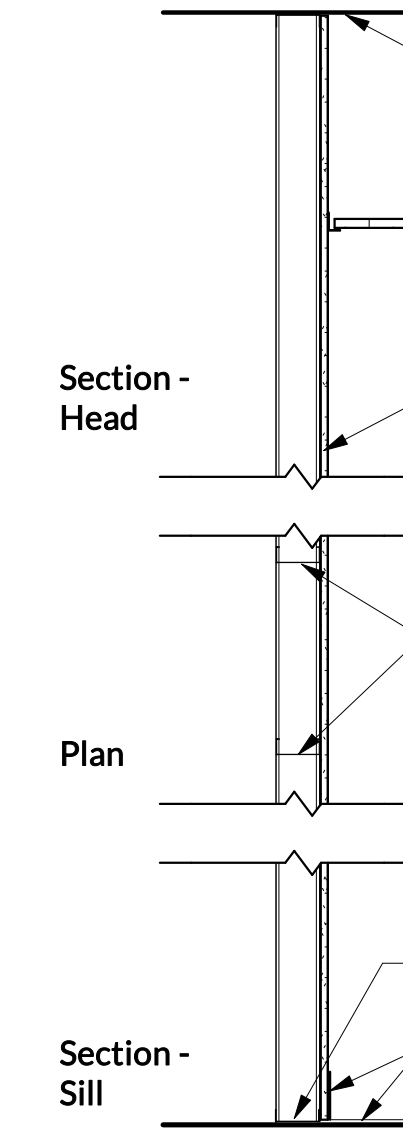
**3 STOREFRONT INTERIOR ELEVATION - SF1**  
A401 3/8" = 1'-0"



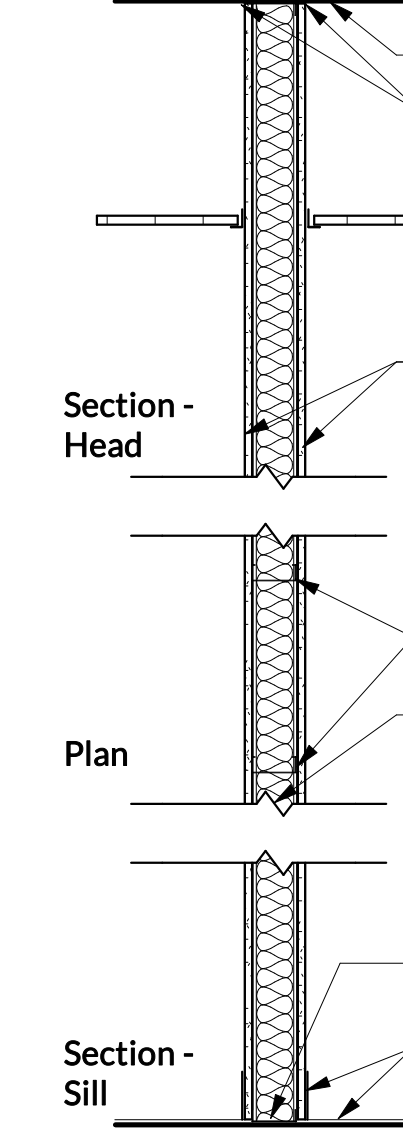
**2 Storefront Elev SF3**  
A401 3/8" = 1'-0"



**Type DP**  
DP: 3 5/8" Metal studs

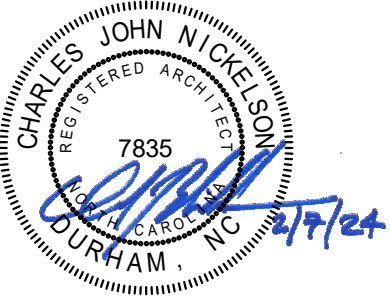


**Type F**  
F3: 3 5/8" Metal studs



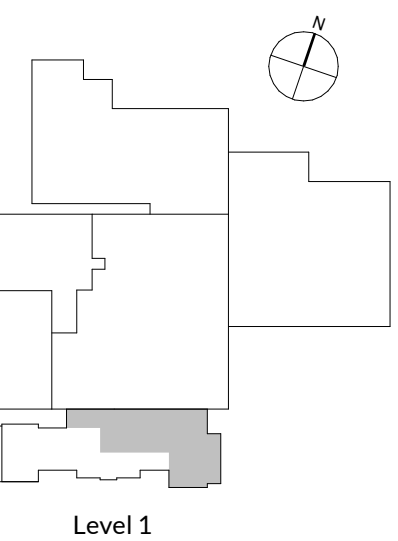
**Type S**  
S3: 3 5/8" Metal studs  
Sound Rated Partition

**1 Wall Types Phase 4**  
A401 3/4" = 1'-0"



Francis Center  
Health Sciences  
Renovation -  
Phase 4

762 East Haggard Ave., Elon, NC  
Key Plan



Revisions	No.	Date	Description

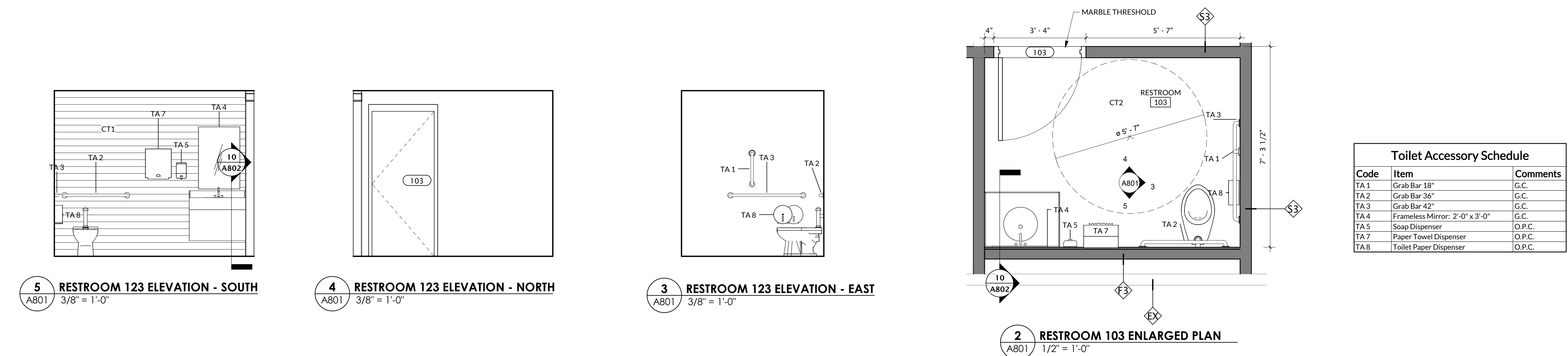
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Original drawing is 30" x 42". Do not scale contents of this drawing.  
Project Number: 2105.04  
Drawn: MTM  
Checked: CJN  
Date: 2/2/2024

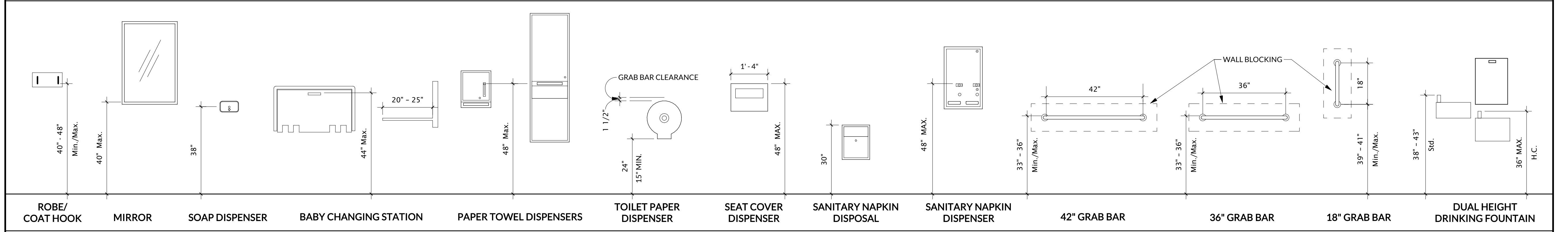
Sheet Title  
ENLARGED RESTROOM PLAN,  
ELEVATIONS & TYP.  
MOUNTING HEIGHTS

Sheet Number

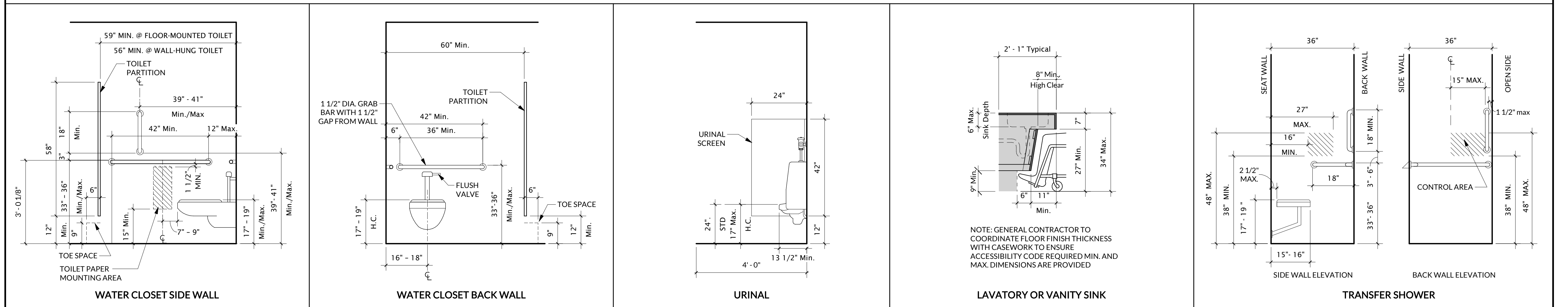
**A801**



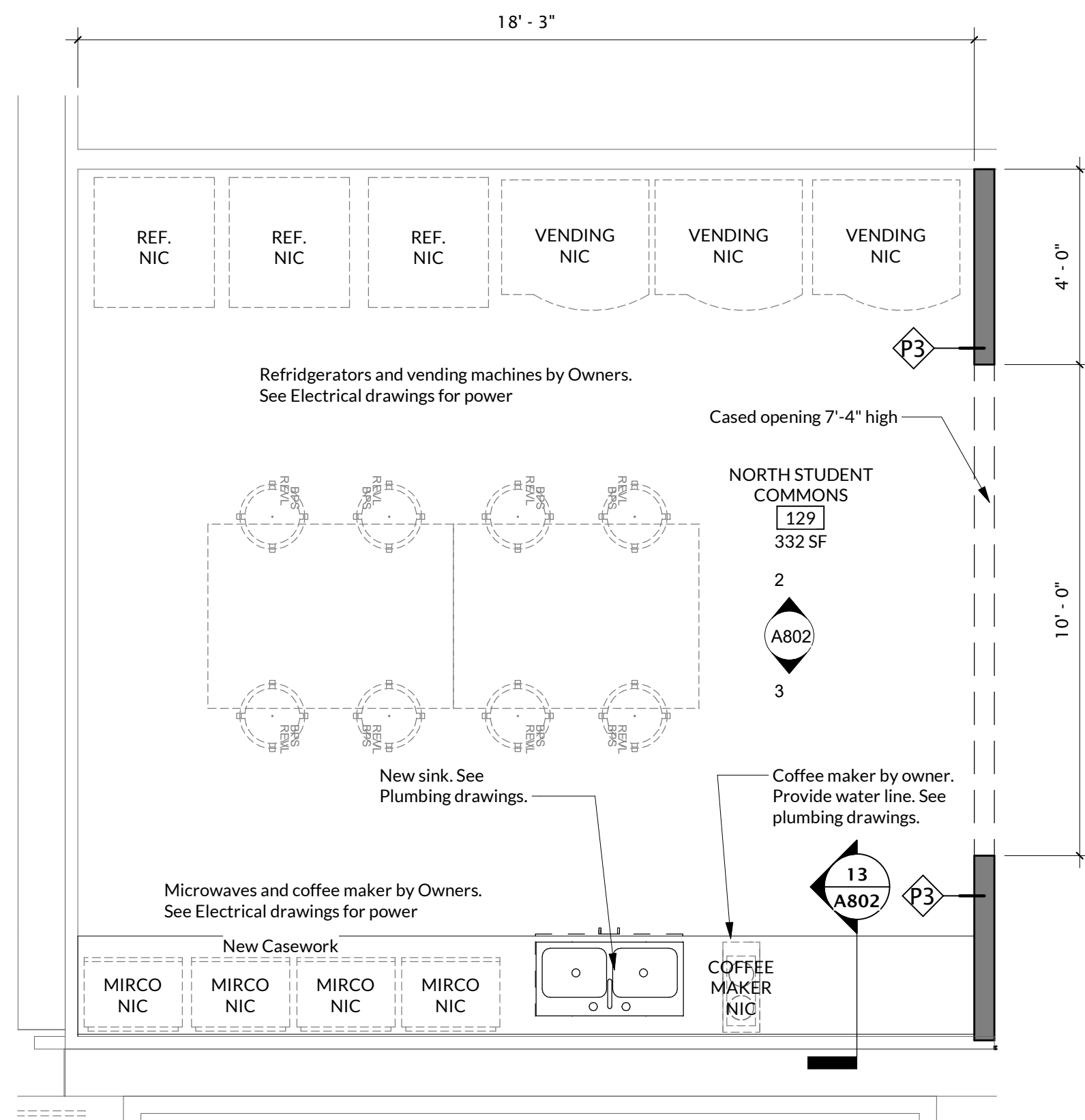
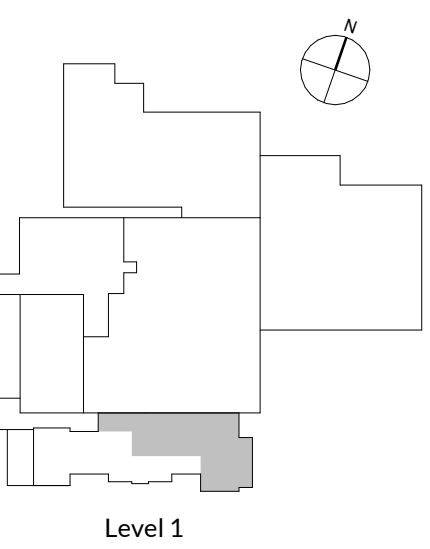
**TYPICAL TOILET ACCESSORIES MOUNTING HEIGHTS** NOTE: FOR REFERENCE ONLY REGARDING TYPICAL MOUNTING HEIGHTS. SOME ITEMS MAY NOT APPEAR IN THE SCOPE OF WORK FOR THIS PARTICULAR PROJECT. SEE FLOOR PLANS, INTERIOR ELEVATIONS, AND SPECIFICATIONS FOR ITEMS INCLUDED IN PROJECT SCOPE.



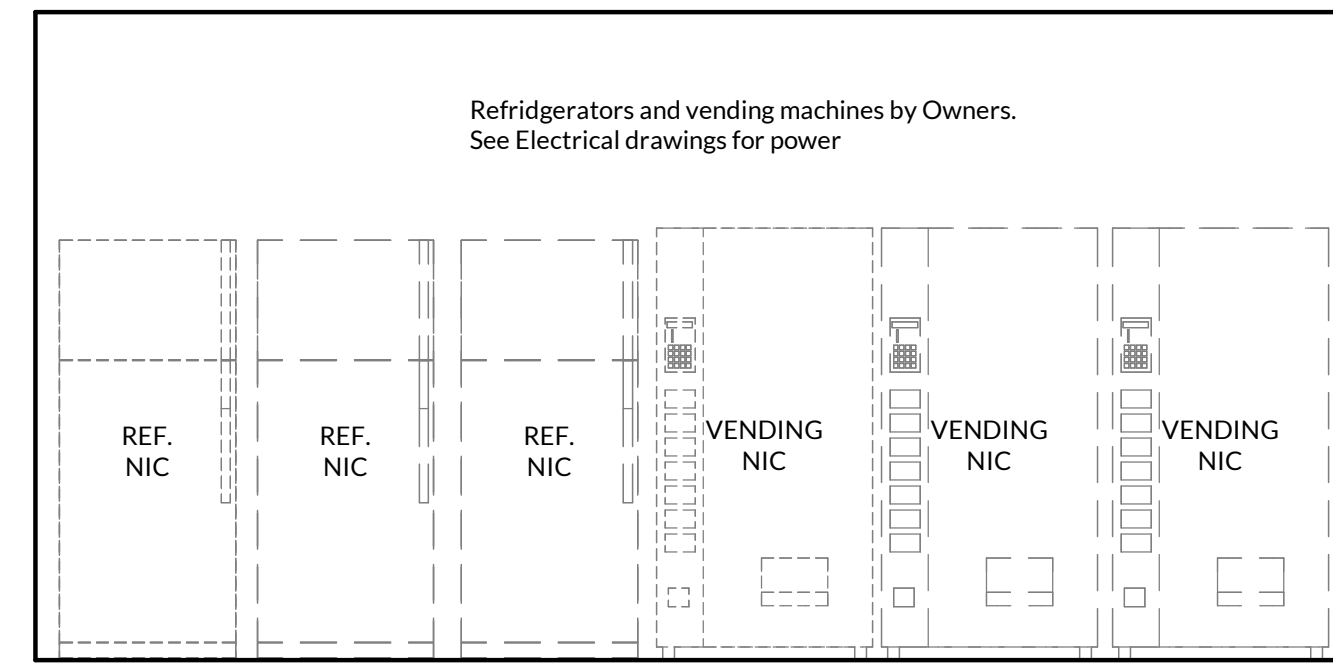
**TYPICAL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS**



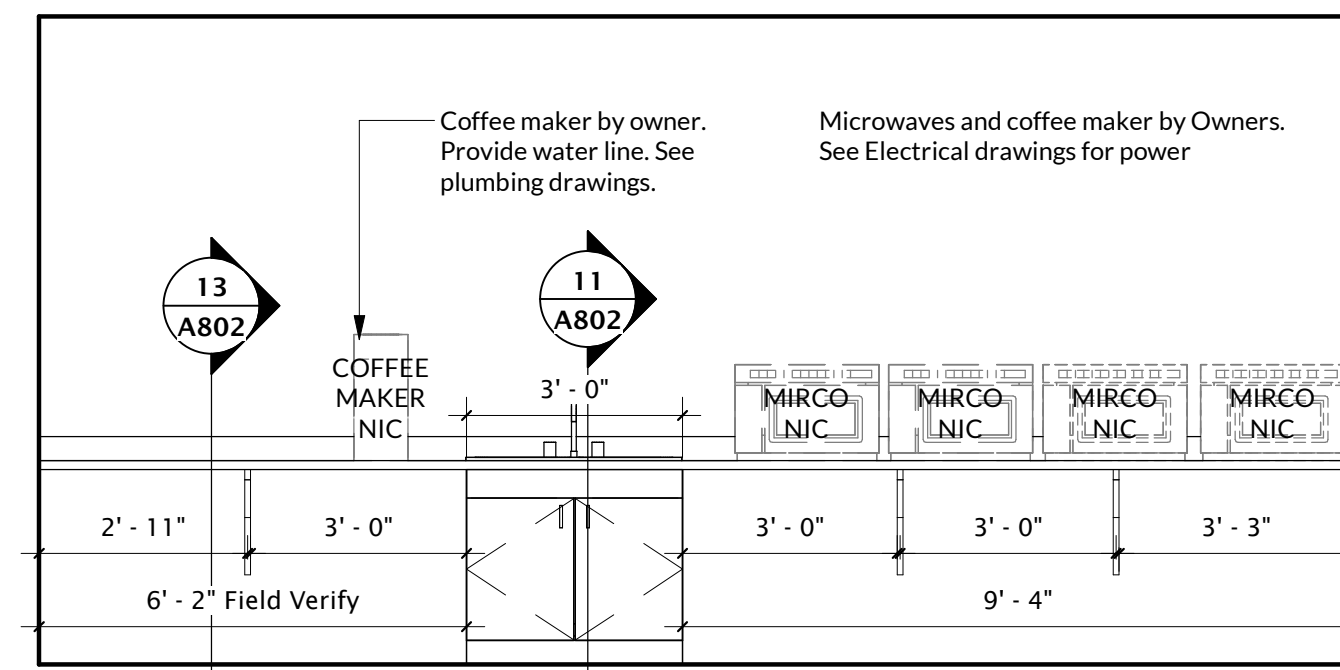
**1 Typical ADA Mounting Heights**  
A801 1/2" = 1'-0"



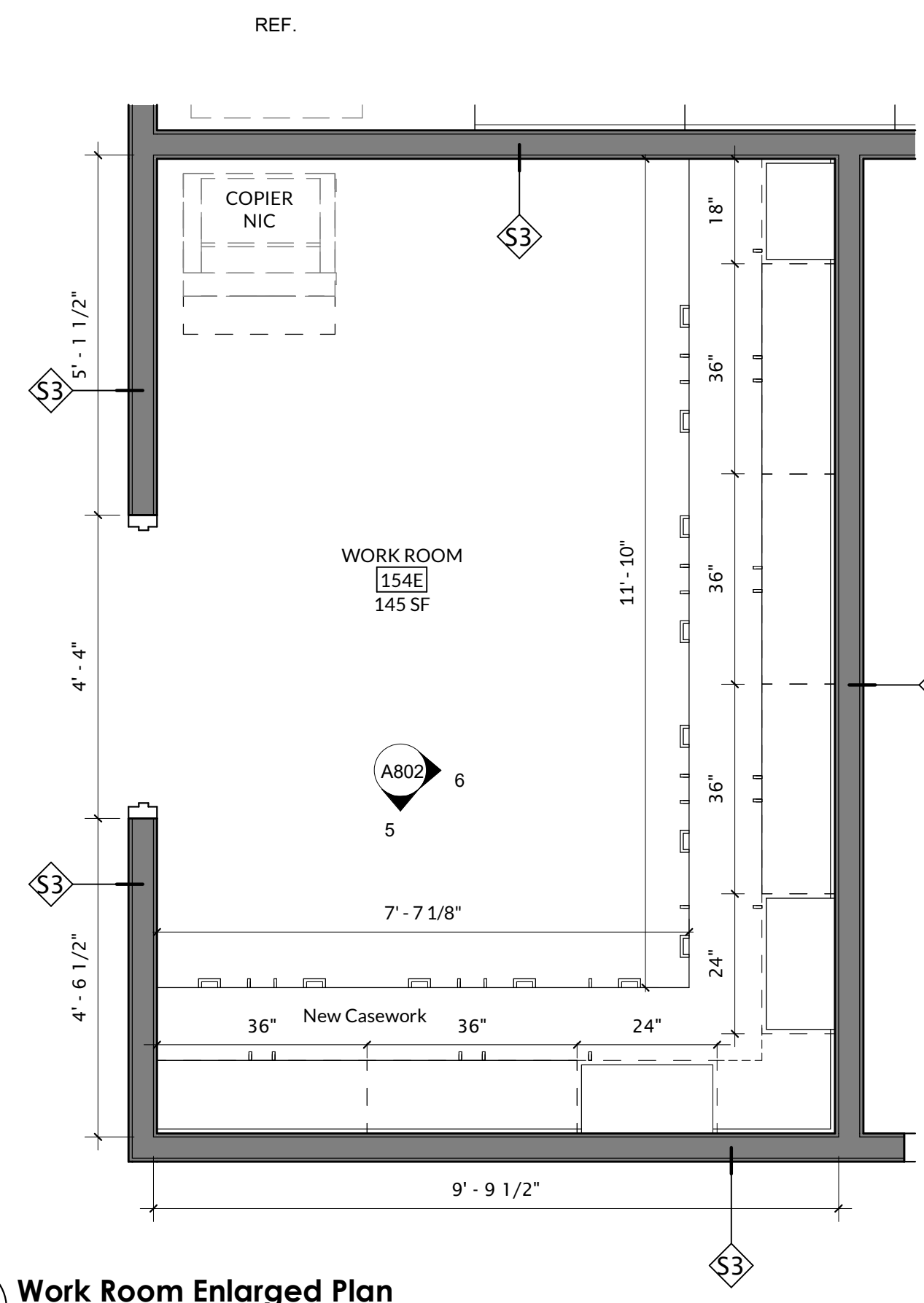
1 ENLARGED PLAN - NORTH STUDENT COMMONS  
A802 3/8" = 1'-0"



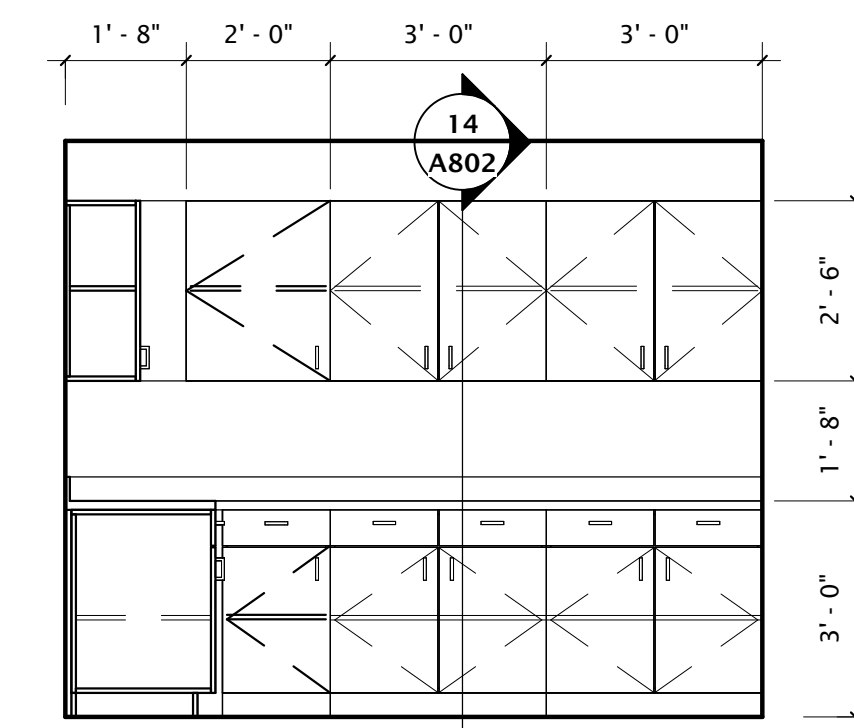
2 NORTH STUDENT COMMONS - NORTH  
A802 3/8" = 1'-0"



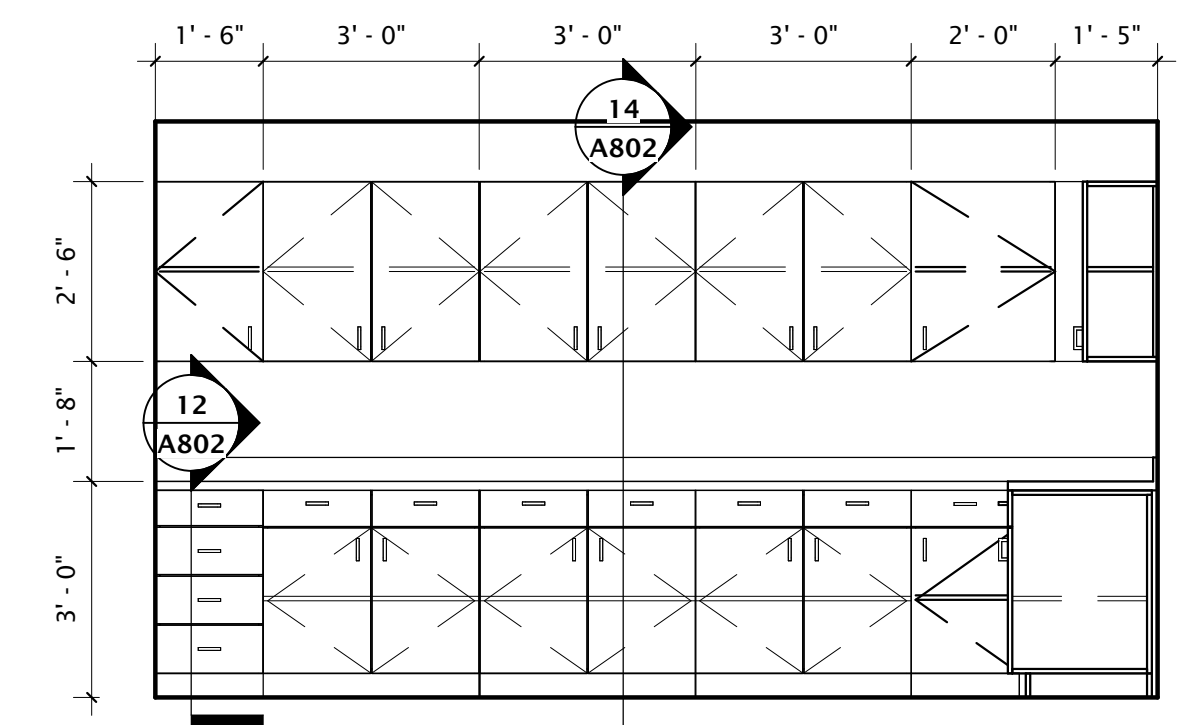
3 NORTH STUDENT COMMONS - SOUTH  
A802 3/8" = 1'-0"



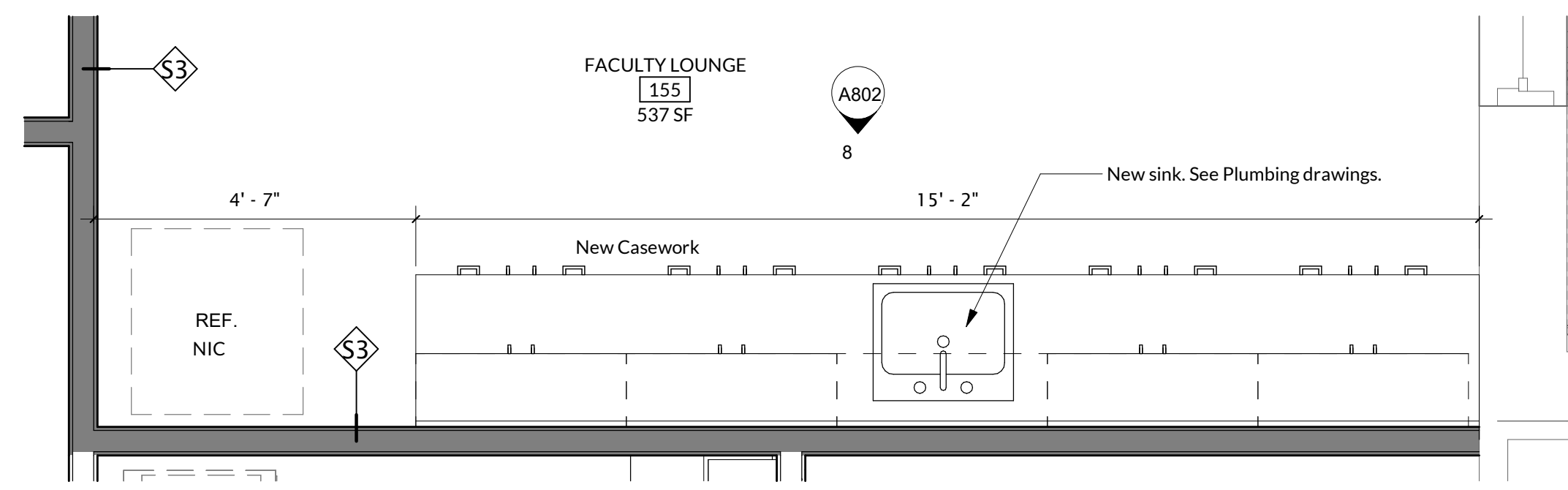
4 Work Room Enlarged Plan  
A802 1/2" = 1'-0"



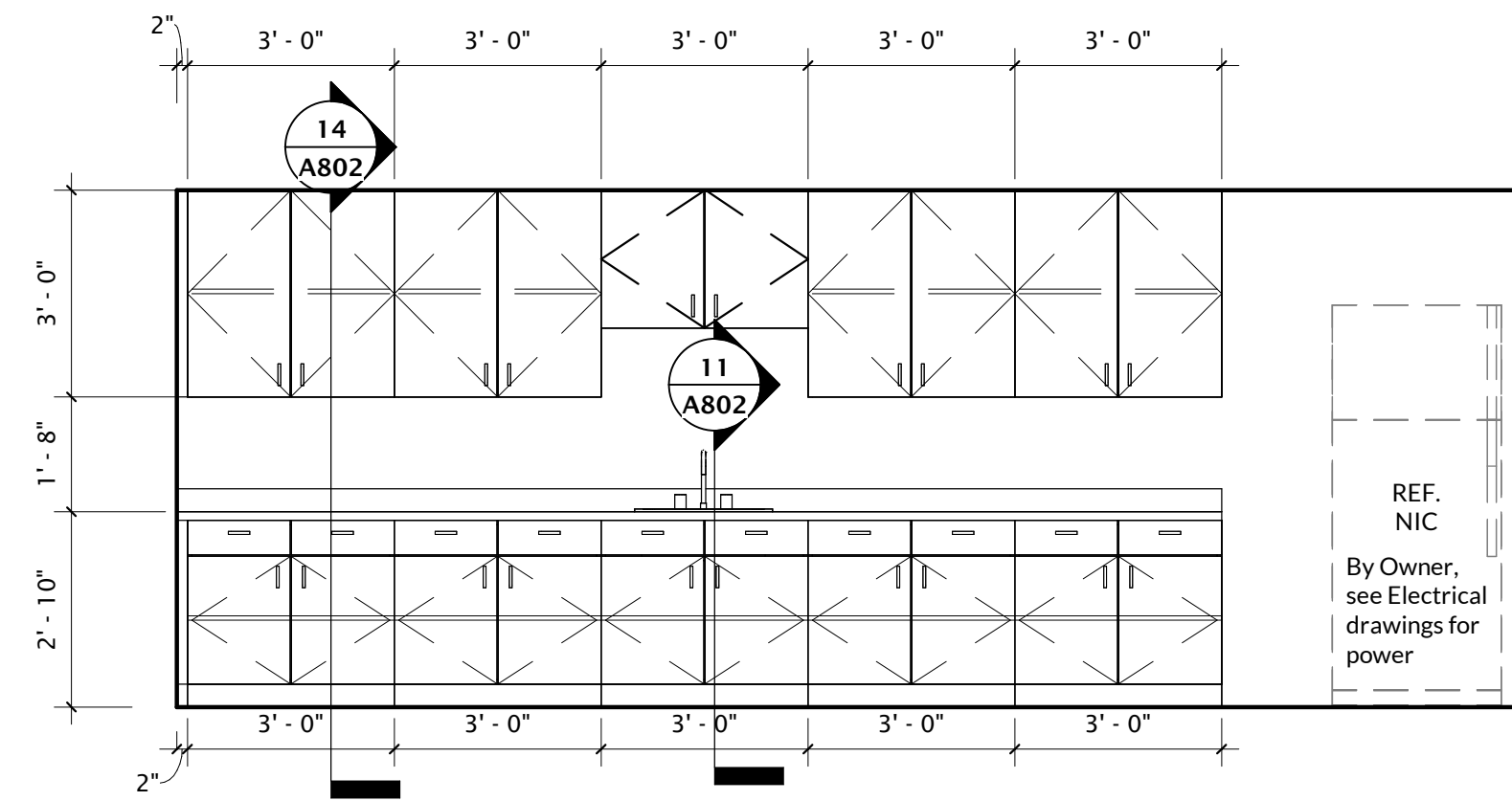
5 WORK ROOM 111 CASWORK - SOUTH  
A802 3/8" = 1'-0"



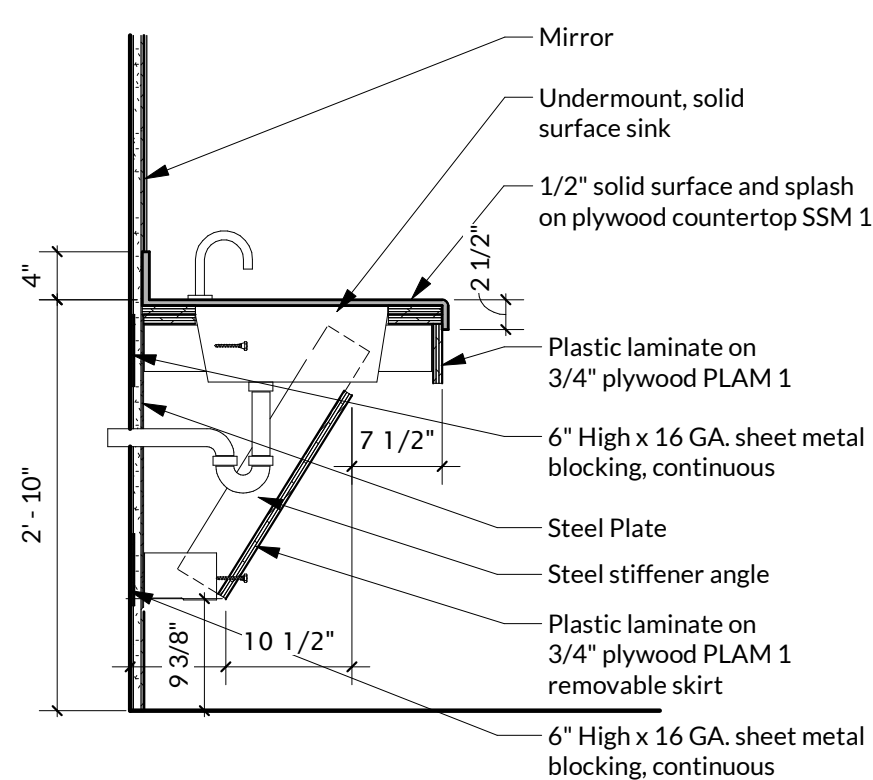
6 WORK ROOM 111 CASWORK - EAST  
A802 3/8" = 1'-0"



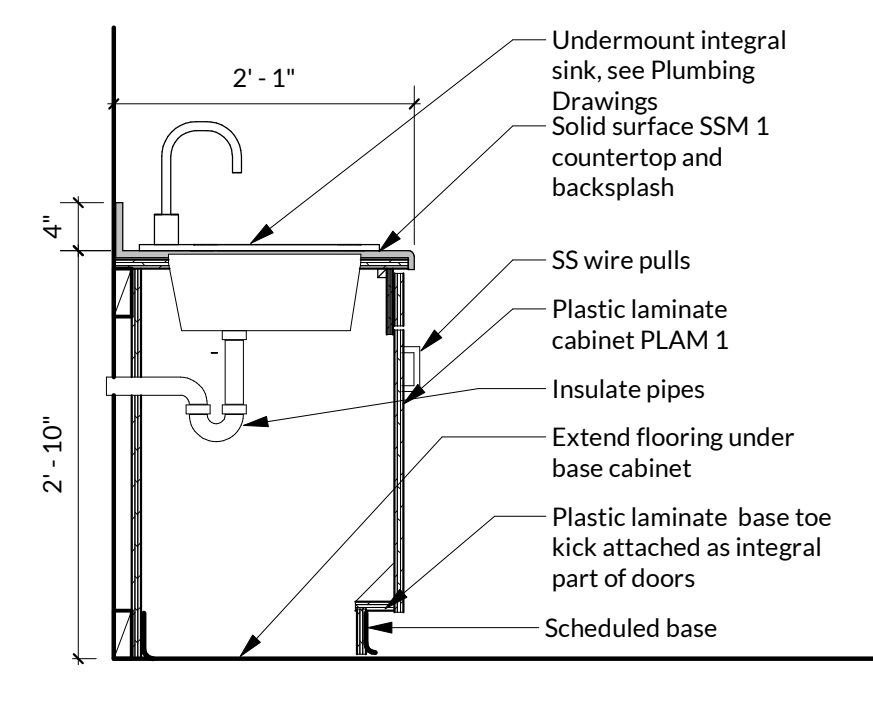
7 Faculty Lounge Casework Plan  
A802 1/2" = 1'-0"



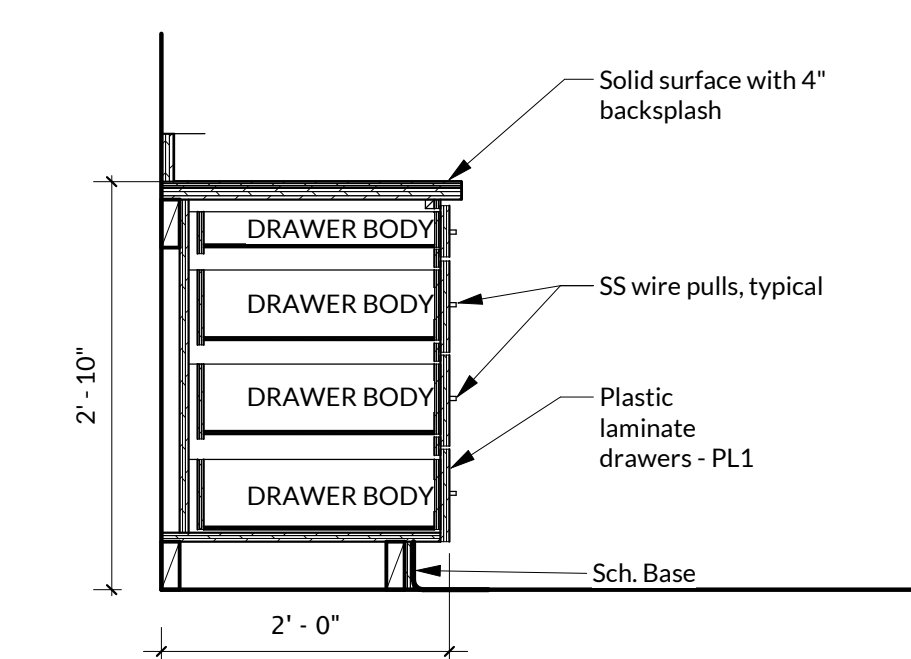
8 FACULTY LOUNGE CASEWORK  
A802 3/8" = 1'-0"



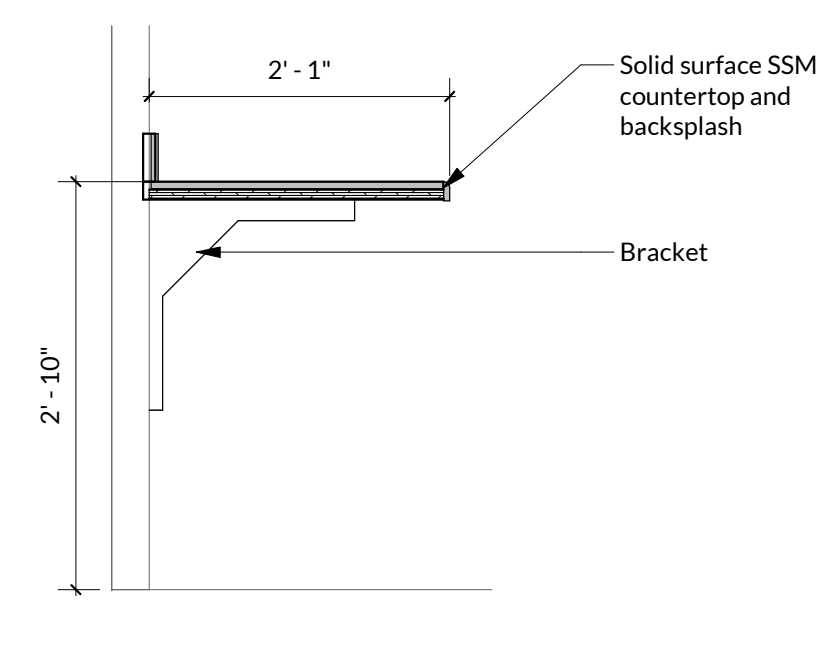
10 ADA Sink Counter  
A802 3/4" = 1'-0"



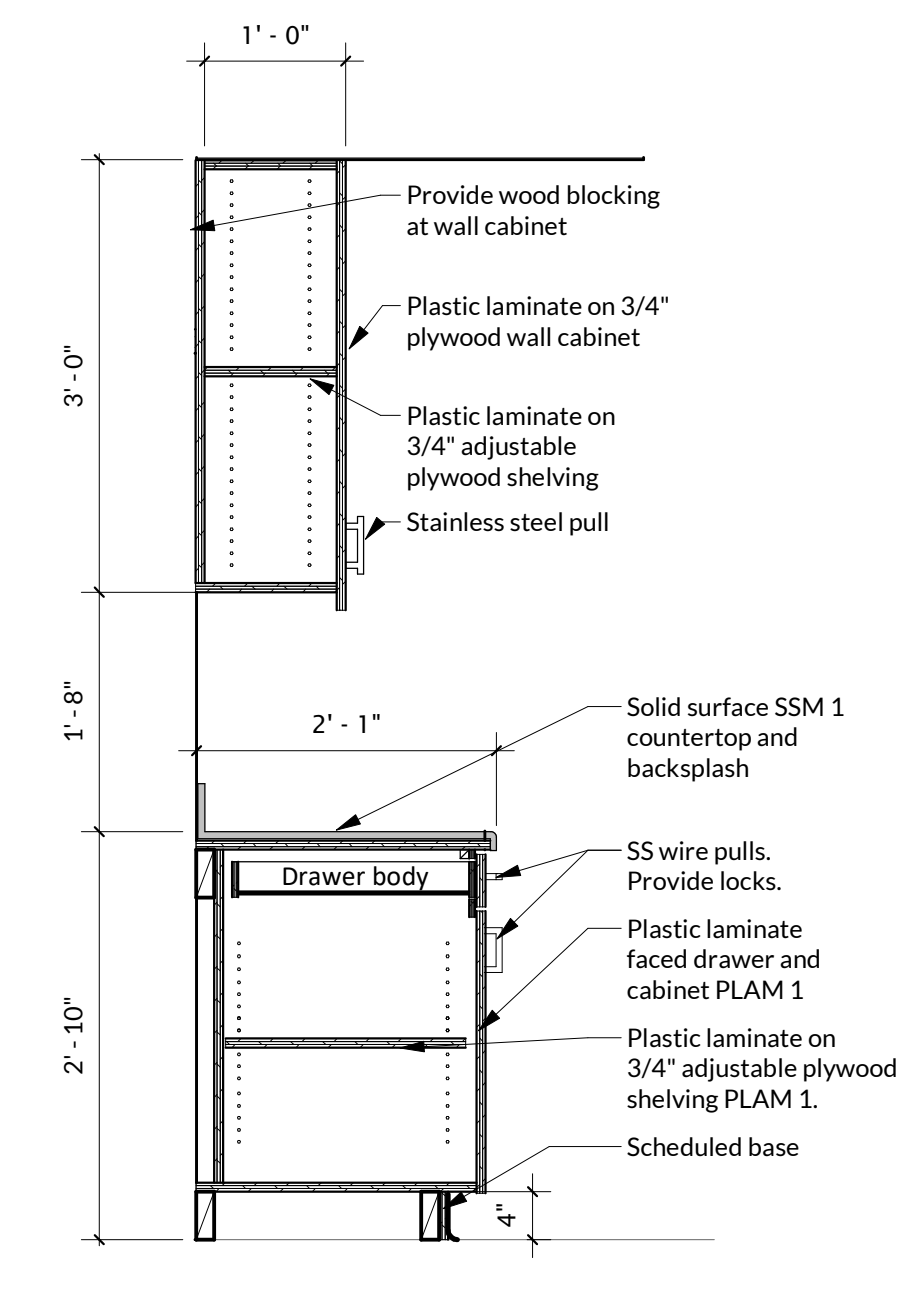
11 ADA Base Cabinet  
A802 3/4" = 1'-0"



12 Base with 4 Drawers  
A802 3/4" = 1'-0"

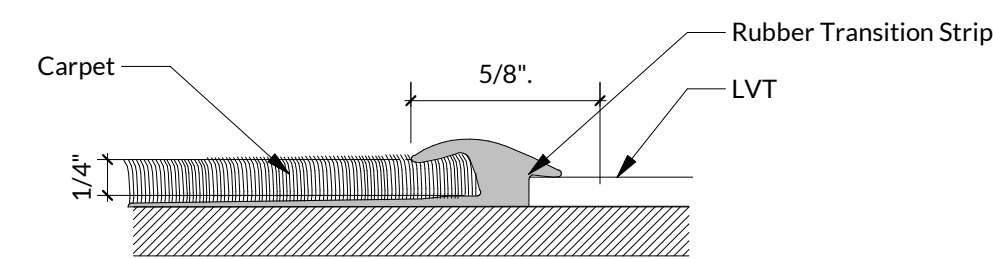


13 Countertop with Bracket  
A802 3/4" = 1'-0"

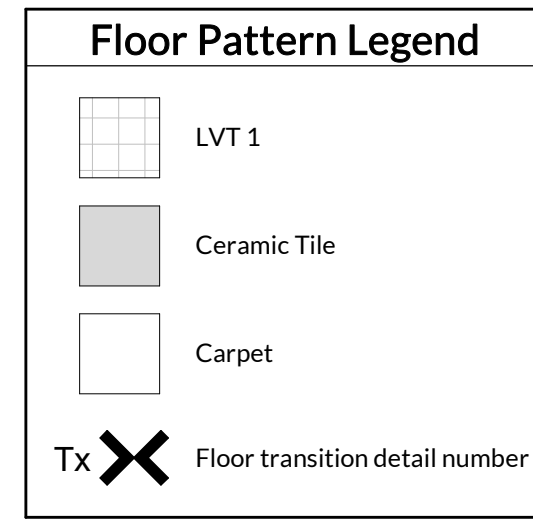


14 Upper Cabinet and Base Cabinet, Typ.  
A802 3/4" = 1'-0"



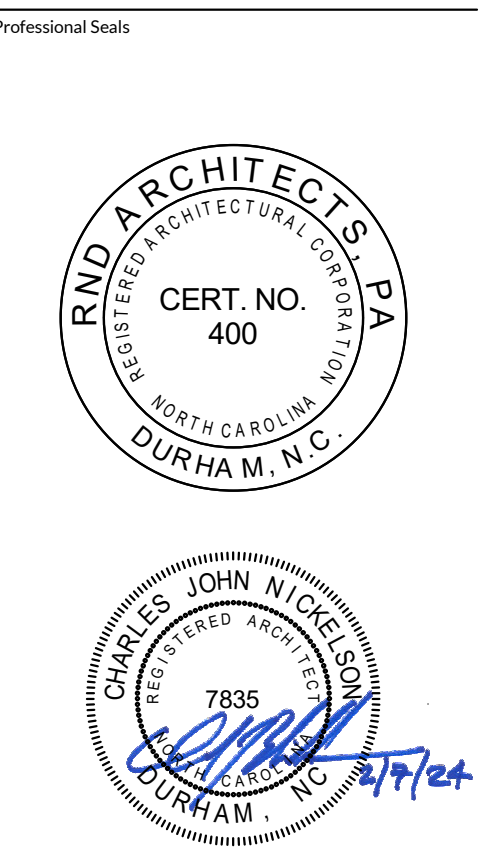


T1 Floor Transition Detail-Carpet to LVT



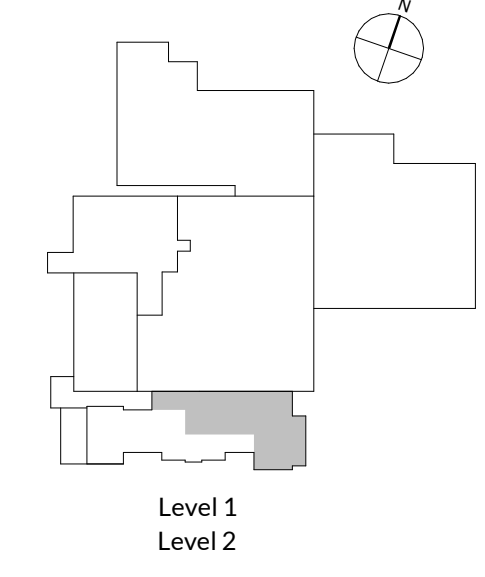
Room Finish Schedule									
No.	Room	Floor	Base	Walls			Ceiling	Comments	
				North	East	South			
Level 1									
100	CORRIDOR	CPT 2	RB1	PT1	PT1	PT1	PT1	ACT1	
101	PROGRAM ASSISTANT	CPT 2	RB1	PT1	PT1	PT1	PT1	XTR	
101A	DEAN'S OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
103	RESTROOM	CT2	RB1	PT1	PT1	CT1	PT1	ACT1	
105	STORAGE	LVT1	RB1	PT1	PT1	PT1	PT1	GYP	
127	SOUTH STUDENT COMMONS	LVT1	RB1	PT1	PT1	PT1	PT1	ACT1/GYP	
128	NORTH STUDENT COMMONS	LVT1	RB1	PT1	PT1	PT1	PT1	ACT1/GYP	
129	NORTH STUDENT COMMONS	LVT1	RB1	PT1	PT1	PT1	PT1	ACT1	
140	LOBBY	CPT2	RB1	PT1	PT2	PT1	PT1	ACT1	
154	PROG. ASSIT.	CPT2	RB1	PT1	PT2	PT1	PT1	ACT1	
154A	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154B	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154C	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154D	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154E	WORK ROOM	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154F	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154G	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154H	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154I	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154J	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154K	DIRECTOR'S OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154L	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154M	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154N	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154O	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154P	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154Q	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154R	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154S	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154T	OFFICE	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
154U	MEETING ROOM	CPT 1	RB1	PT1	PT1	PT1	PT1	ACT1	
155	FACULTY LOUNGE	LVT1	RB1	PT1	PT1	PT1	PT1	ACT1/GYP	
198	CORRIDOR	LVT1	RB1	PT1	PT1	PT1	PT1	ACT1/GYP	

Finish Material Legend		
Code	Manufacturer	Description
ACT 1	Armstrong	Ultima, 2' x 2' x 3/4" Square Lay-in White tiles with 15/16" Prelude XL White grid, (NRC .70, 29-54% Recycled Content; no added formaldehyde)
CPT 1	Shaw Contract	24x24 Artisan Tile 51097 Color: Bayon 99585. Confirm layout in field with Owner.
CPT 2	Shaw Contract	24x24 ST098 Color: Bayon 99585 Install: Plain Weave. Confirm layout in field with Owner.
CT 1	Mosaic Tile	4x16 Portobello, Krea. Color: Artic Glossy. Stacked Installation; Grout: Custom Building Products Arctic #640
CT 2	Crossville Tile	12x24 Gotham AV326. Color: Pavement UPS; Grout: Custom Building Products Shadow #644
CTB-1	Crossville Tile	Single Bullnose 4x24 Gotham. Color: Pavement UPS; Grout: Custom Building Products Shadow #644
LVT 1	Mohawk	Living Local, Chromascope CO159, 94 Jack Rabbit, 12' x 24" Color TBD by Owner
PLAM 1	Wilsonart	Standard laminate - Wilsonart 4080-38 Carbon Mesh
PT 1	Sherwin Williams	Alabaster SW 7008.eggshell - COLOR FROM PREVIOUS PHASE
PT 2	Sherwin Williams	Alabaster SW 7008.semigloss - COLOR FROM PREVIOUS PHASE
PT 3	Sherwin Williams	Ceiling white - flat
PT 4	Match Existing	Door Frames; Steel doors; Semi-gloss - Match to newest renovation - confirm with Owner
PT 5	Sherwin Williams	Match existing - Verify, Maison Blanche SW 7526. eggshell sheen @ walls unless noted otherwise, semi-gloss where scheduled; flat sheen where scheduled on ceiling/ ProGreen 200 Interior Latex
PT 6	Sherwin Williams	SW 6941 Open Air - COLOR FROM PREVIOUS PHASE
PT 7	Sherwin Williams	Steel columns and beams - RND REQUEST FOR ELON TO PICK A WHITE COLOR FOR STRUCTURAL COMPONENTS
PT 8	Sherwin Williams	SW 6496 Oceanside: Eggshell (Accent Lobby) - COLOR FROM PREVIOUS PHASE
PT 9	Sherwin Williams	SW 7069 Iron Ore: Eggshell (Accent Hallway) - COLOR FROM PREVIOUS PHASE
PT 10	Sherwin Williams	SW TBD: Eggshell (VR Lab) - FROM PREVIOUS PHASE
RB 1	Burke	Espresso 103
SSM 1	Solid Surface	Pearl. Confirm material with Owner



### Francis Center Health Sciences Renovation - Phase 4

762 East Haggard Ave., Elon, NC  
Key Plan



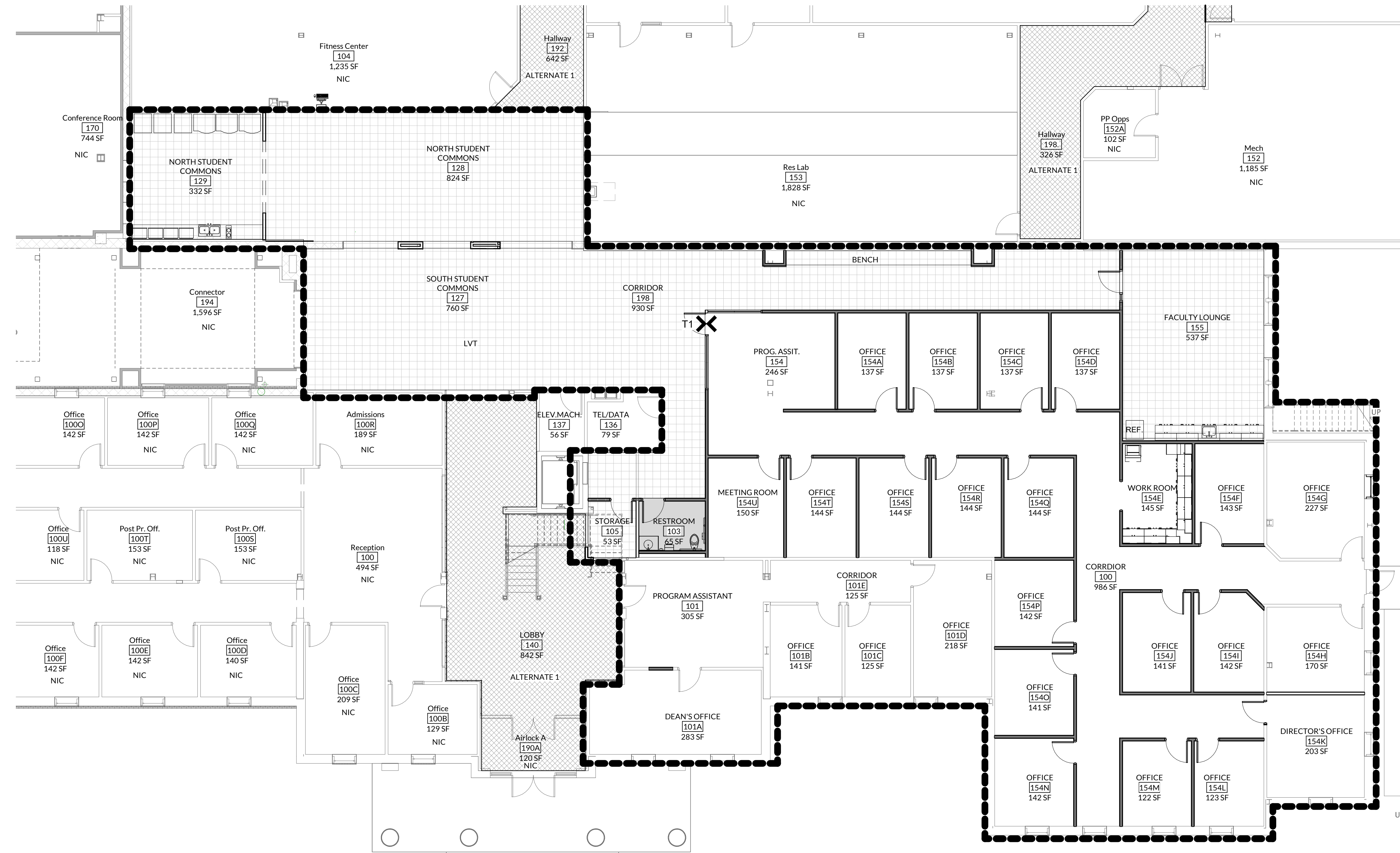
Revisions	No.	Date	Description

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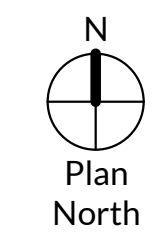
Original drawing is 30" x 42". Do not scale contents of this drawing.

Project Number: 2105.04  
Drawn: MIM  
Checked: C/JN  
Date: 2/2/2024

Sheet Title  
**FINISH SCHEDULE AND PLANS**

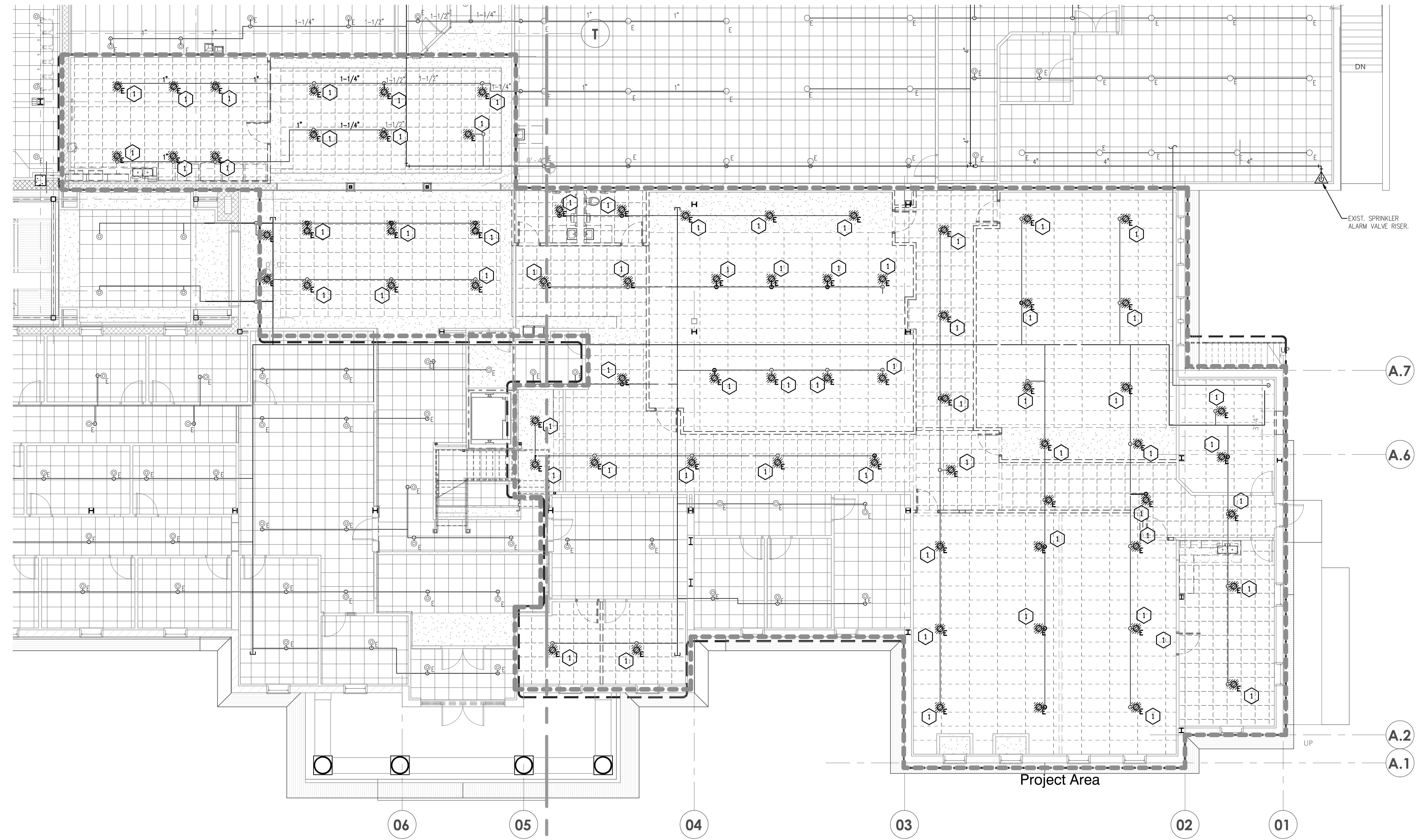
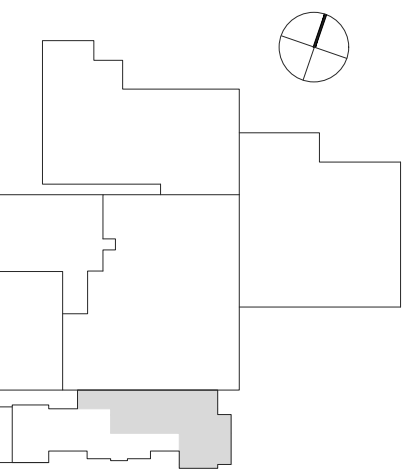


1 Level 1 - Finish Plan  
A901 1/8" = 1'-0"



Sheet Number  
**A901**  
Plan  
North





**1** Fire Protection Demolition Plan - Level 1  
FP101.1 SCALE: 1/8" = 1'-0" PHASE 4

**GENERAL DEMOLITION NOTES:**

- A. EXISTING SPRINKLER SYSTEM PIPING AND HEADS ON THIS DRAWING ARE TAKEN FROM SITE INVESTIGATION AND ORIGINAL SPRINKLER SHOP DRAWINGS. CONTRACTOR SHALL FIELD VERIFY EXISTING PIPING LAYOUT AND MODIFY PER NEW HEAD LAYOUT ON RENOVATION PLANS WITHIN EACH WORK AREA. ONLY PERTINENT INFORMATION TO THIS RENOVATION IS SHOWN ON THESE PLANS.
- B. SPRINKLER CONTRACTOR SHALL COORDINATE ALL WORK WITH OWNER AND GENERAL CONTRACTOR.
- C. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL SYSTEM SERVICE INTERRUPTIONS WITH OWNERS PROJECT MANAGER.
- D. PROVIDE ALL CAPS, PLUGS, VALVES, ETC. NECESSARY TO ISOLATE DEMOLITION WORK FROM EXISTING SPRINKLER SYSTEM TO REMAIN. THE BUILDING SPRINKLER SYSTEM SHALL REMAIN IN SERVICE WHILE CONTRACTOR IS NOT PRESENT ON SITE.
- E. ANY DAMAGE TO EXISTING SERVICES BY THIS CONTRACTOR SHALL BE REPAIRED OR REPLACED TO THE OWNERS SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- F. REMOVE EXISTING AUTOMATIC SPRINKLERS, PIPING, AND HANGERS INDICATED ON PLAN WITHIN HATCHED AREA. PROPERLY PATCH ALL HOLES LEFT IN WALLS AS A RESULT OF DEMOLITION NOT BEING REUSED FOR NEW PIPE ROUTING IN ORDER TO MAINTAIN FIRE RATINGS.

**FIRE PROTECTION DEMOLITION KEY NOTES:**

- 1 REMOVE EXISTING SPRINKLER HEAD. EXISTING ARM-OVER SHALL BE MODIFIED TO CONNECT TO NEW SPRINKLER HEAD AS SHOWN ON RENOVATION PLAN.

Revisions	No.	Date	Description

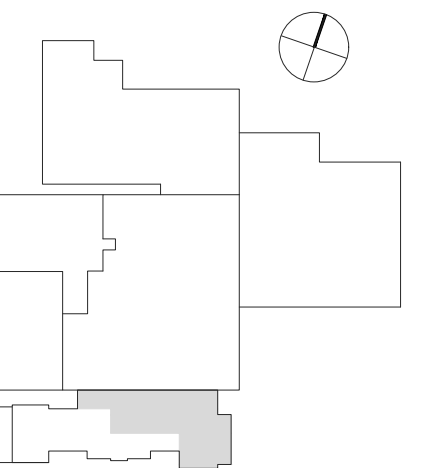
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Project Number: 22-010.1  
Drawn: LDH  
Checked: CTC  
Date: 2/2/2024

Sheet Title  
**Fire Protection  
Demolition Plan  
Level 1 - Phase 4**

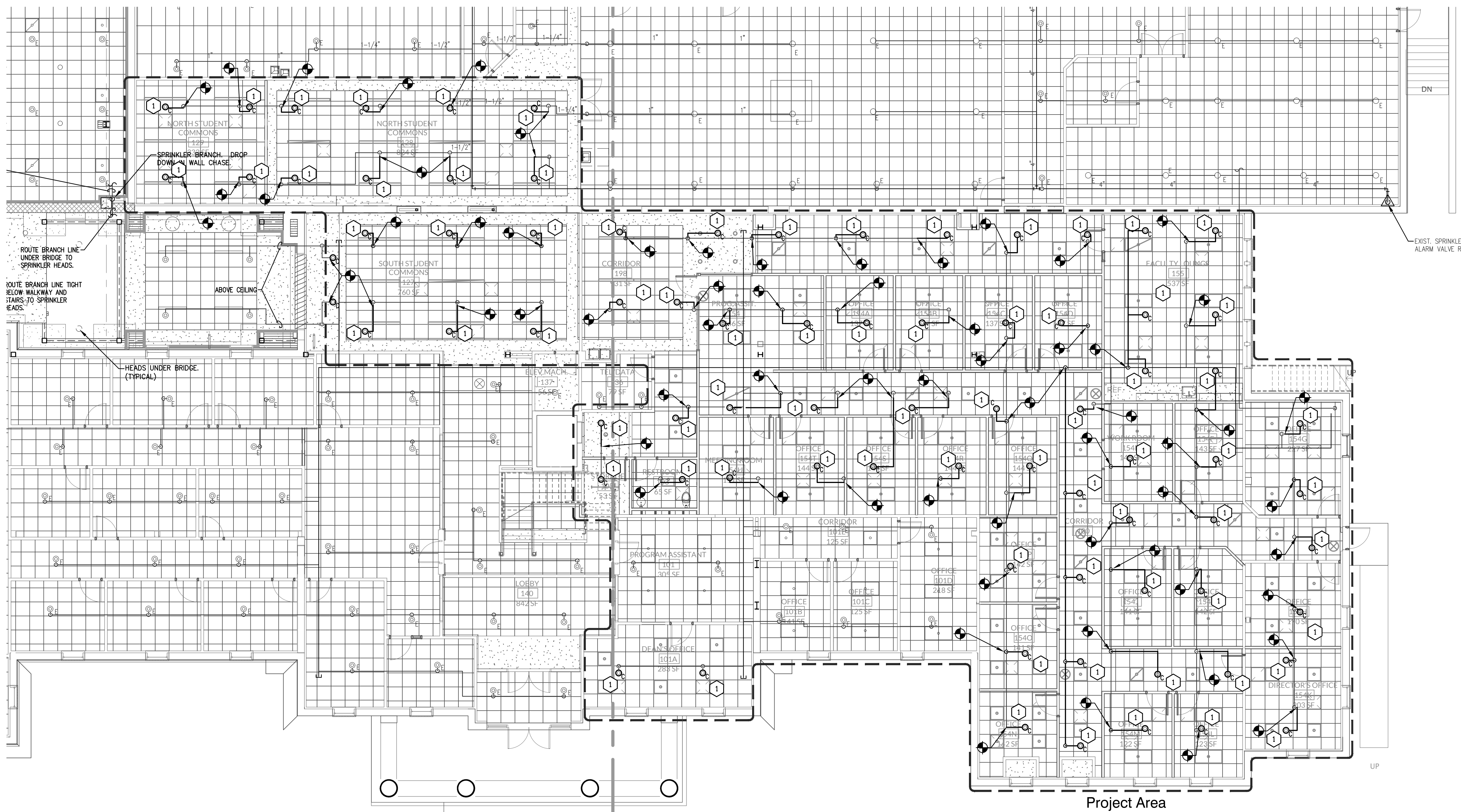
Sheet Number  
**FP101.1**

### Francis Center Health Sciences Renovation - Phase 4

762 East Haggard Ave., Elon, NC  
Key Plan



Revisions	No.	Date	Description



**1** Fire Protection Renovation Plan - Level 1  
**FP201.1** SCALE: 1/8" = 1'-0" PHASE 4

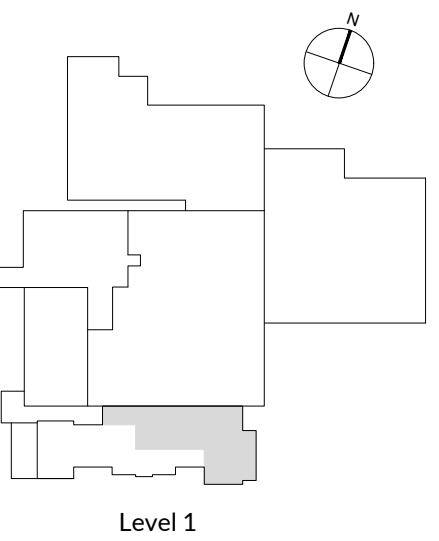
#### FIRE PROTECTION RENOVATION KEY NOTES:

- 1 INSTALL NEW CONCEALED PENDENT TYPE SPRINKLER HEADS AT LOCATIONS SHOWN. COORDINATE LOCATION WITH OTHER TRADES. CONTRACTOR TO PROVIDE NEW BRANCH PIPING AND ARM-OVERS AS REQUIRED TO CONNECT TO EXISTING SPRINKLER MAIN OR BRANCH. CONTRACTOR TO FIELD LOCATE EXISTING SPRINKLER PIPING.

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Sheet Title  
**Fire Protection Renovation  
 Plan Level 1 - Phase 4**

Sheet Number  
**FP201.1**



Level 1

Revisions

No.	Date	Description

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Project Number: 22-010.1  
Drawn: LDH  
Checked: CTC  
Date: 2/2/2024

Sheet Title  
**Plumbing Legends, Notes & Schedules**

Sheet Number

**P001.1**

FIXTURE SCHEDULE					
SYMBOL	FIXTURE	CW	HW	WASTE	REMARKS
P-1	*WATER CLOSET (ADA)	1"	--	4"	FLOOR MOUNTED, DIAL FLUSH
P-2	LAVATORY	1/2"	1/2"	1 1/2"	UNDERMOUNT BY OTHERS, SINGLE LEVER FAUCET
P-3	SINK (SINGLE BOWL)	1/2"	1/2"	1 1/2"	SINGLE LEVER FAUCET
P-4	SINK (DOUBLE BOWL)	1/2"	1/2"	1 1/2"	SINGLE LEVER FAUCET
P-5	ICE MAKER BOX	1/2"	--	--	MOUNT 18" ABOVE FINISHED FLOOR

NOTES:

- \*INSTALL ADA FIXTURE WITH FLUSH HANDLE ON WIDE SIDE OF ROOM/STALL.

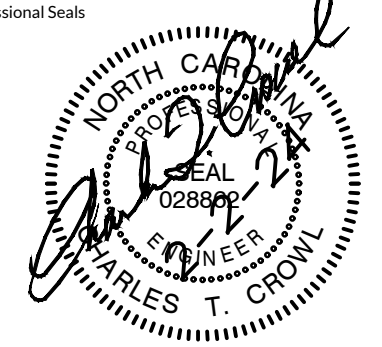
**PLUMBING FIXTURES SPECIFICATIONS:**

FIXTURE MANUFACTURERS:

- |  |  |
|--|--|
| 1. FIXTURES<br>A. KOHLER                                 | 4. FIXTURE SUPPORTS<br>A. SMITH<br>B. ZURN<br>C. JOSAM |
| 2. FIXTURE SEATS<br>A. BEMIS<br>B. CHURCH<br>C. ELSONITE | 5. FLUSH VALVES<br>A. SLOAN<br>B. ZURN                 |
| 3. FAUCETS<br>A. DELTA                                   | 6. KITCHEN SINKS<br>A. ELKAY MANUFACTURING COMPANY     |
|  | 7. FIXTURE STOPS<br>A. MOORE                           |

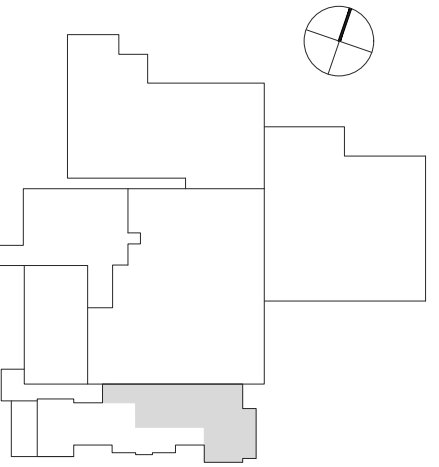
- P-1 WATER CLOSET: ADA COMPLIANT, WHITE VITREOUS CHINA, FLOOR MOUNTED, FLUSH VALVE TYPE, ELONGATED BOWL, SIPHON JET ACTION, 1.1 TO 1.6 GALLON FLUSH, 16 5/8" BOWL HEIGHT, 1-1/2" TOP SPRID KOHLER HIGHCLIFF ULTRA MODEL K-96057, PROVIDE WITH BEMIS 1955SCT COMMERCIAL TOILET SEAT WITH STAINLESS STEEL CHECK HINGES, SLOAN ROYAL MODEL NO. WES-111-YL UPERCUT DUAL FLUSH FLUSHMETER (1.1 GPF LIFTING HANDLE UP AND 1.6 GPF PUSHING HANDLE DOWN), SWEAT SOLDER ADAPTOR & CAST WALL FLANGE WITH SET SCREW AND SEAT BUMPER, ADHESIVE BACKED METAL WALL PLATES ETCHED WITH INSTRUCTIONS, ADA COMPLIANT HANDLE, WAXED SEAL, TOILET BOLTS AND BOLT CAPS. INSTALL TO COMPLY WITH THE REQUIREMENTS OF ADA.
- P-2 LAVATORY: ADA COMPLIANT SOLID SURFACE UNDERMOUNT LAVATORIES BY OTHERS. PROVIDE AND INSTALL DELTA MODEL 501F-HOF SINGLE HANDLE LAVATORY FAUCET, WITH 4" CENTERSET, CERAMIC CARTRIDGE AND 1.2 GPM VANDAL RESISTANT AERATOR. INCLUDE MOORE C8912 (1 1/4" X 1 1/2") P-TRAP AND WALL BEND, MOORE NO. LFBV2165 BRASS BALL VALVE ANGLE STOPS WITH CHROMED SOFT COPPER RISERS, MOORE 155A GRID STRAINER AND 1 1/4" TAILPIECE. INSTALL WHITE PRE-MOLDED ANTIMICROBIAL VINYL INSULATION KIT ON TAILPIECE, P-TRAP, AND SUPPLIES AS REQUIRED.
- P-3 SINK: SINGLE BOWL, ADA COMPLIANT ELKAY UNDERMOUNT MODEL #ELKHAD211555PD (21 1/2" X 18 1/2" X 5 3/8"), 18 GAUGE, TYPE 304 STAINLESS STEEL, 5 3/8" DEEP WITH MODIFIED DRAIN IN REAR CENTER OF BOWL, DELTA MODEL 101-LF-HOF SINGLE POST, SINGLE HANDLE BRASS FAUCET, 1.5 GPM AERATOR, ELKAY LK9D1 STAINLESS STEEL PERFECT DRAIN, 1-1/2" TAILPIECE, MOORE NO. C8912 (1 1/2" X 1 1/2") 17 GAUGE P-TRAP AND WALL BEND, MOORE CONTINUOUS WASTE MODEL 11321017 17 GAUGE, MOORE NO. LFBV2165 BALL VALVE ANGLE STOPS AND CHROMED COPPER FLEXIBLE RISERS. INSTALL WHITE PRE-MOLDED ANTIMICROBIAL VINYL INSULATION KIT ON TAILPIECE, P-TRAP AND SUPPLIES.
- P-4 SINK: DOUBLE BOWL, ADA COMPLIANT ELKAY UNDERMOUNT MODEL #ELKHAD31855PD (30 3/4" X 18 1/2" X 5 3/8"), 18 GAUGE, TYPE 304 STAINLESS STEEL, 5 3/8" DEEP WITH MODIFIED DRAIN IN REAR CENTER OF BOWL, DELTA MODEL 101-LF-HOF SINGLE POST, SINGLE HANDLE BRASS FAUCET, 1.5 GPM AERATOR, (2) ELKAY LK9D1 STAINLESS STEEL PERFECT DRAIN, 1-1/2" TAILPIECE, MOORE NO. C8912 (1 1/2" X 1 1/2") 17 GAUGE P-TRAP AND WALL BEND, MOORE CONTINUOUS WASTE MODEL 11321017 17 GAUGE, MOORE NO. LFBV2165 BALL VALVE ANGLE STOPS AND CHROMED COPPER FLEXIBLE RISERS. INSTALL WHITE PRE-MOLDED ANTIMICROBIAL VINYL INSULATION KIT ON TAILPIECE, P-TRAP, CONTINUOUS WASTE AND SUPPLIES.
- P-5 ICE MAKER BOX: SYMONS MODEL IM-600A ICEMAKER HOOK-UP BOX WITH 1/2" INLET AND 1/4" OUTLET COMPRESSION ANGLE VALVE AND WATER HAMMER ARRESTOR.

PLUMBING SYMBOLS LEGEND	
W	WASTE
V	VENT
VTR	VENT THRU ROOF
CW	COLD WATER
HW	HOT WATER
HWR	HOT WATER RECIRCULATING
RD	ROOF DRAIN
RDL	ROOF DRAIN LEADER
SD	STORM DRAIN
CLG	CEILING
DN	DOWN
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
BFF	BELOW FINISHED FLOOR
U.N.O.	UNLESS NOTED OTHERWISE
<b>P-#</b>	PLUMBING FIXTURE
	SANITARY SEWER PIPING
	VENT PIPING
	COLD WATER PIPING
	HOT WATER PIPING
	HOT WATER RECIRCULATING PIPING
	STORM/RAIN LEADER PIPING
	EXISTING SANITARY SEWER PIPING
	EXISTING VENT PIPING
	EXISTING STORM SEWER PIPING
	EXISTING COLD WATER PIPING
	EXISTING HOT WATER PIPING
	CONNECT TO EXISTING
	TERMINATION POINT OF DEMOLITION
	EXISTING TO BE REMOVED
FD-#	FLOOR DRAIN
	HOSE BIBB
	CLEAN OUT - FINISHED FLOOR
	CLEAN OUT - END OF LINE, STACK OR WALL
SA-#	SHOCK ARRESTOR
	PIPE RISER UP
	PIPE RISER DOWN
	PIPE CAP
	UNION
	SERVICE (BALL) VALVE
	BALANCING VALVE (ORCUT SETTER) W/ CHECK VALVE
	CHECK VALVE
	PRESSURE REDUCING VALVE
	DIRECTION OF FLOW
	DIRECTION OF SLOPE
	TEE OFF TOP
	TEE OFF BOTTOM
	CONCENTRIC REDUCER
	BALL VALVE
	BUTTERFLY VALVE
	STRAINER WITH BLOW DOWN
	PRESSURE GAUGE WITH SHUT-OFF COCK
	UNION

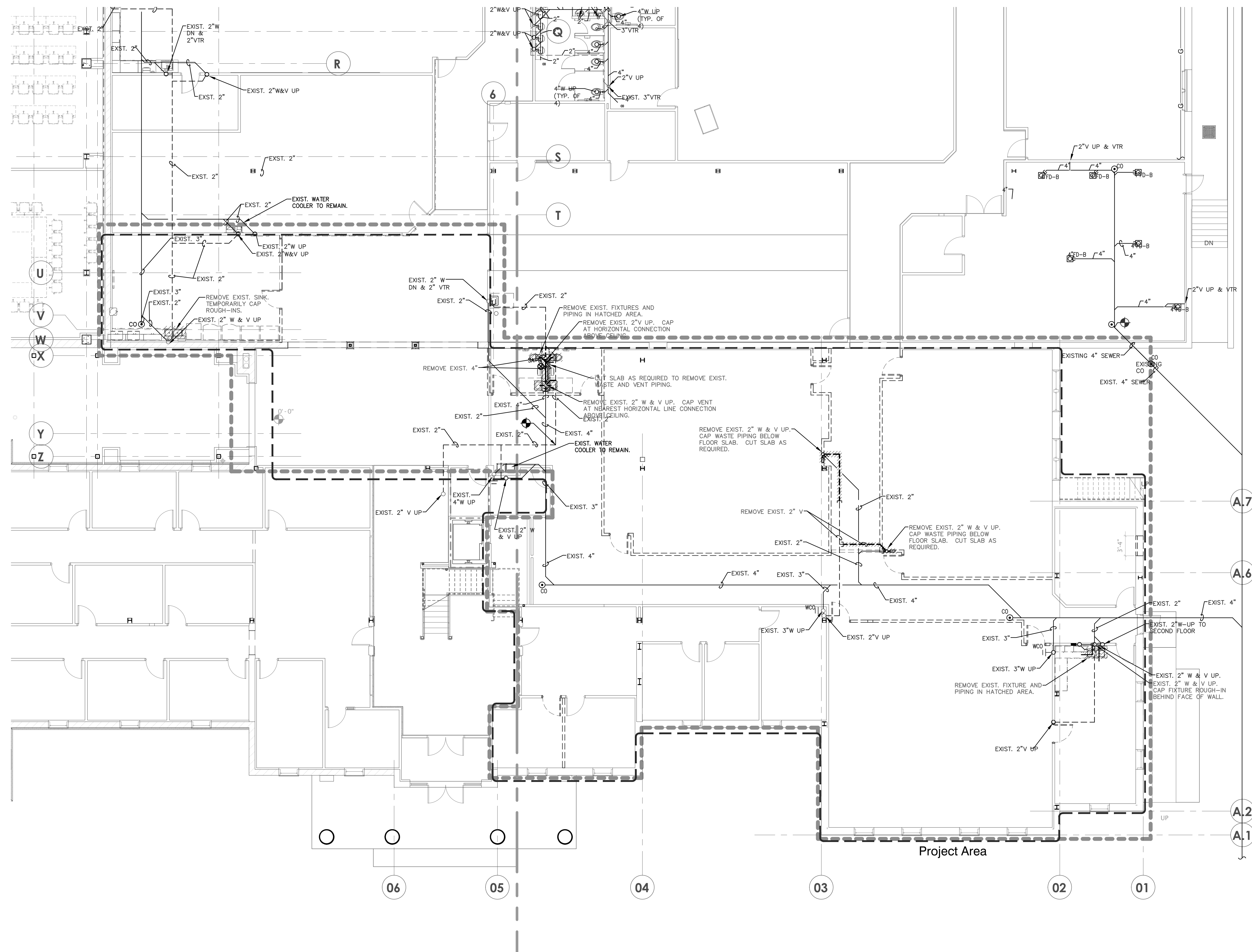


**Francis Center  
Health Sciences  
Renovation -  
Phase 4**

762 East Haggard Ave., Elon, NC  
Key Plan



Revisions	No.	Date	Description

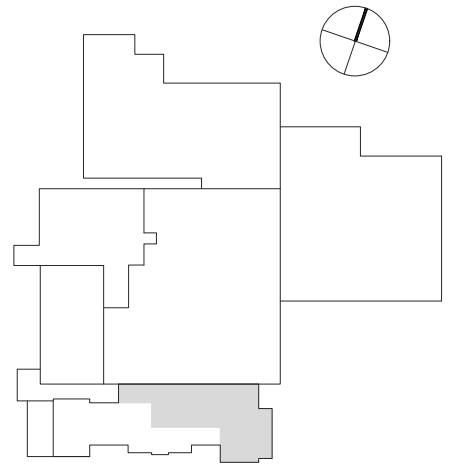
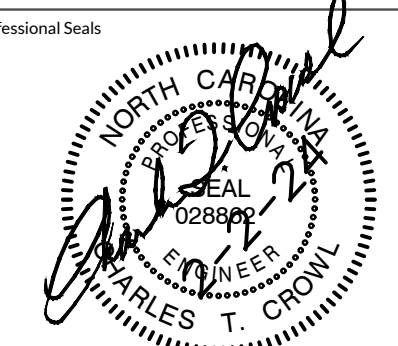


**1** Plumbing Demolition Plan - Waste & Vent - Level 1  
**P101.1** SCALE: 1/8" = 1'-0" PHASE 4

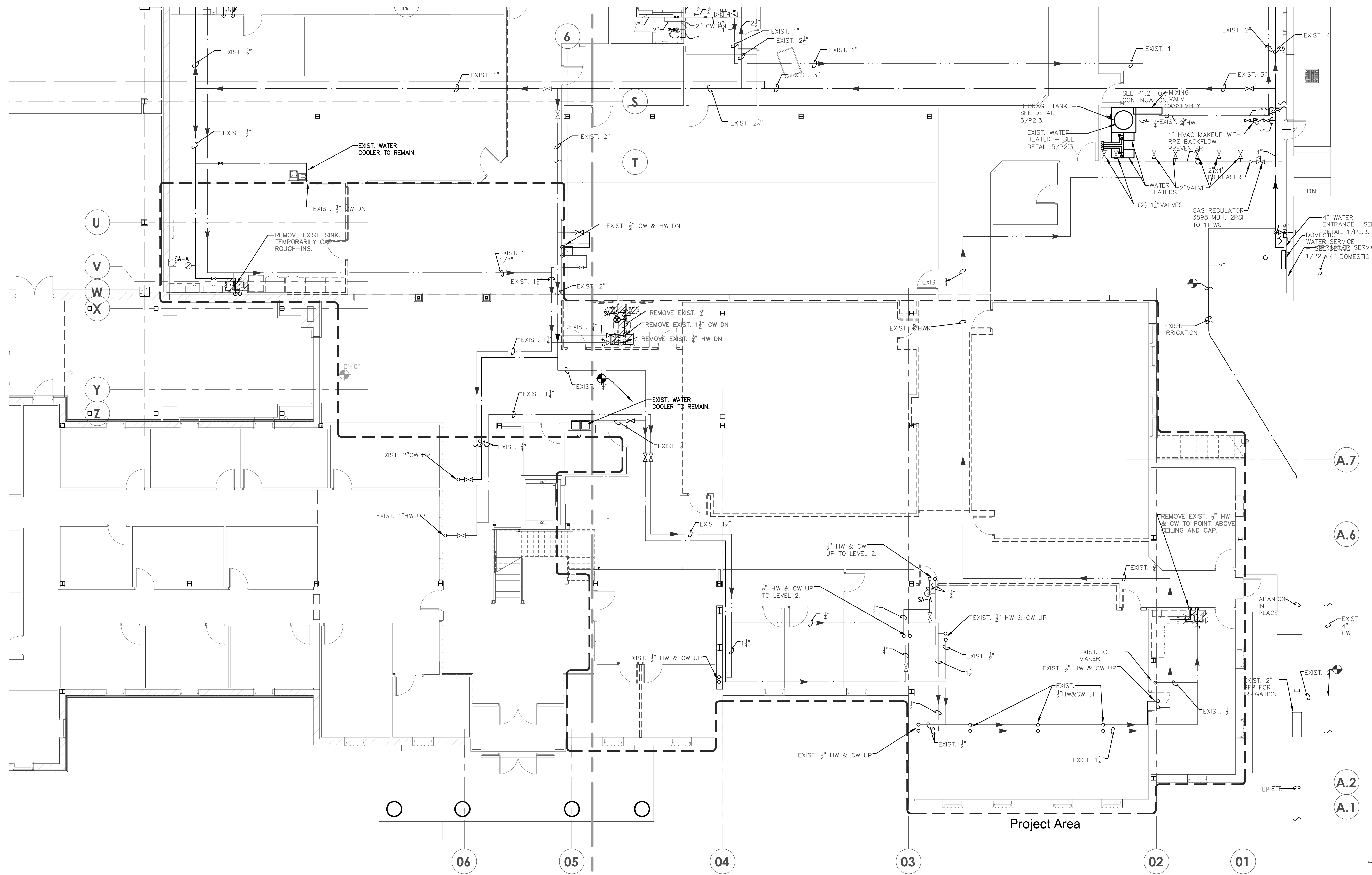
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Project Number: 22-010.1  
Drawn: LDH  
Checked: CTC  
Date: 2/2/2024  
Sheet Title  
**Plumbing Demolition  
Plan Level 1 - Phase 4**  
Sheet Number

**P101.1**

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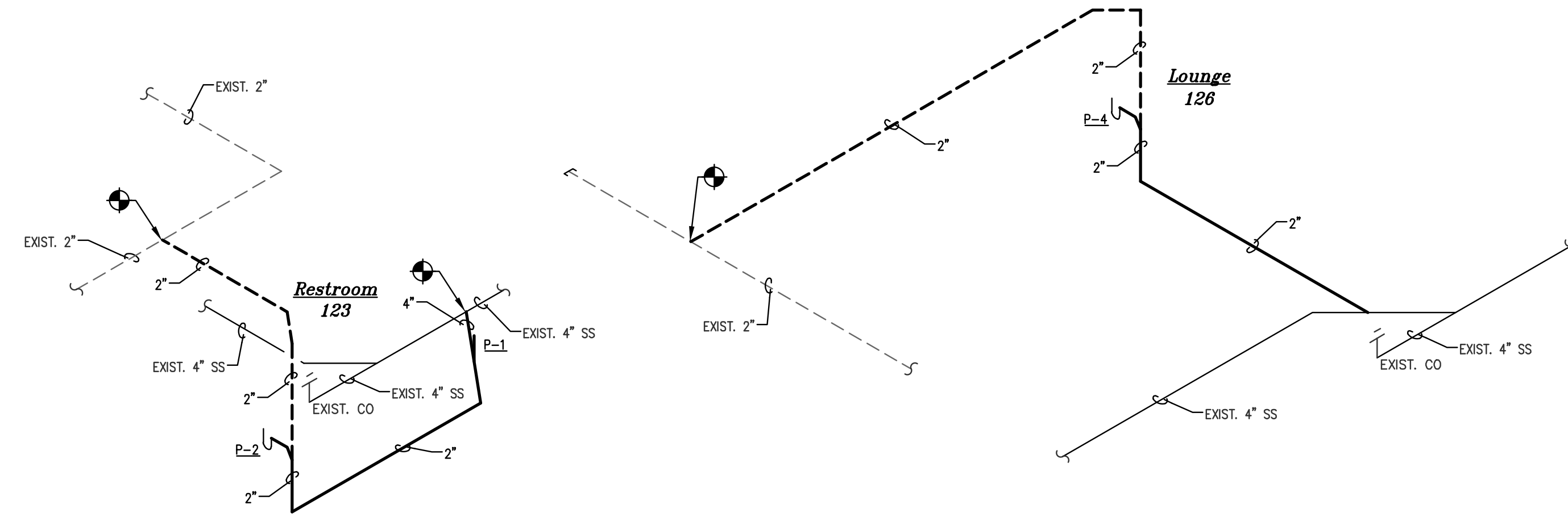
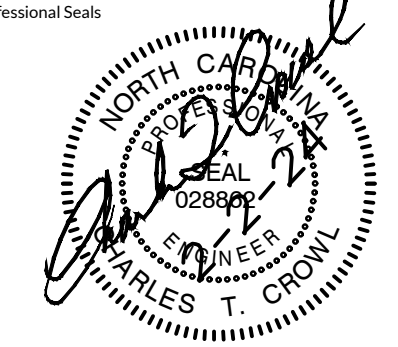


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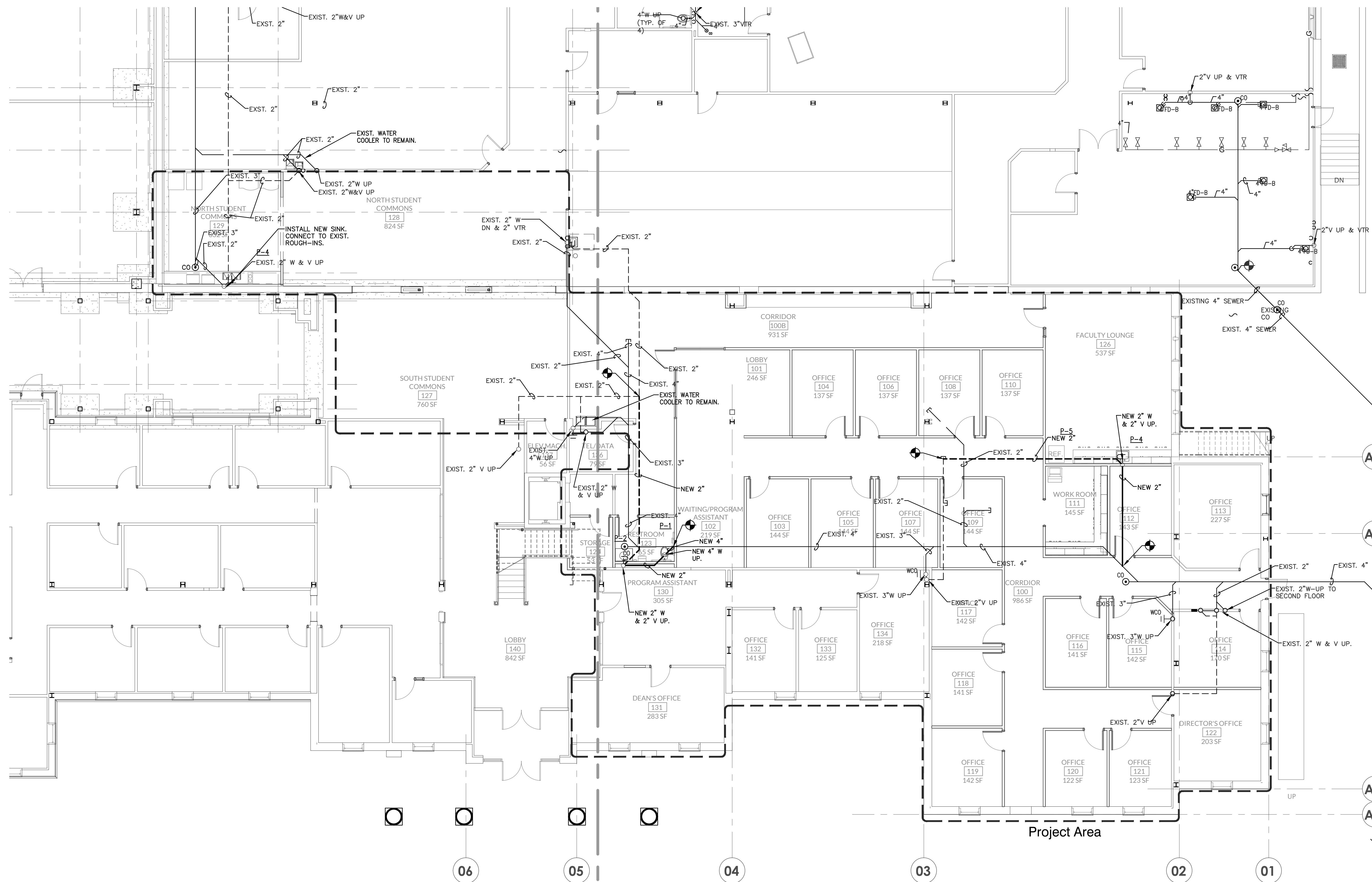


**1** Plumbing Demolition Plan - Water - Level 1  
**P102.1** SCALE: 1/8" = 1'-0" PHASE 4

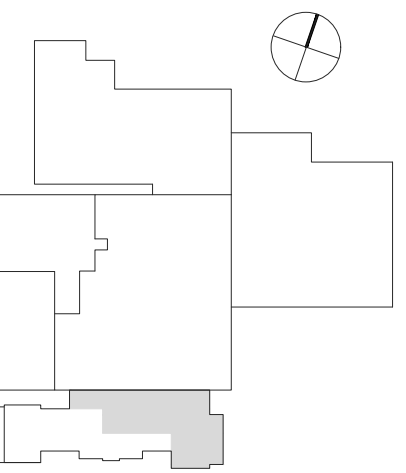
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**2** Partial Plumbing Renovation Waste & Vent Riser Diagrams  
**P201.1** SCALE: NONE

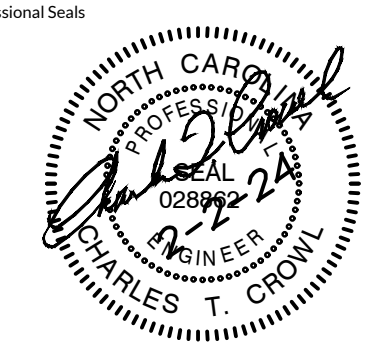


**1** Plumbing Renovation Plan - Waste & Vent - Level 1  
**P201.1** SCALE: 1/8" = 1'-0"  
**PHASE 4**



Revisions	No.	Date	Description

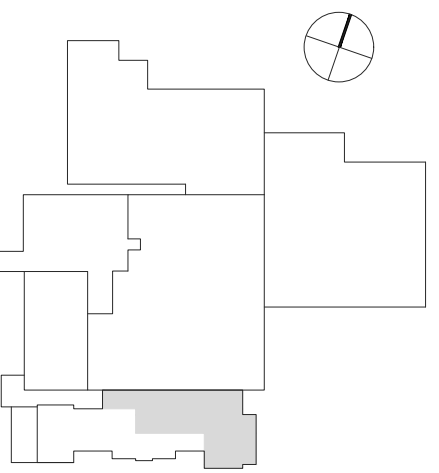




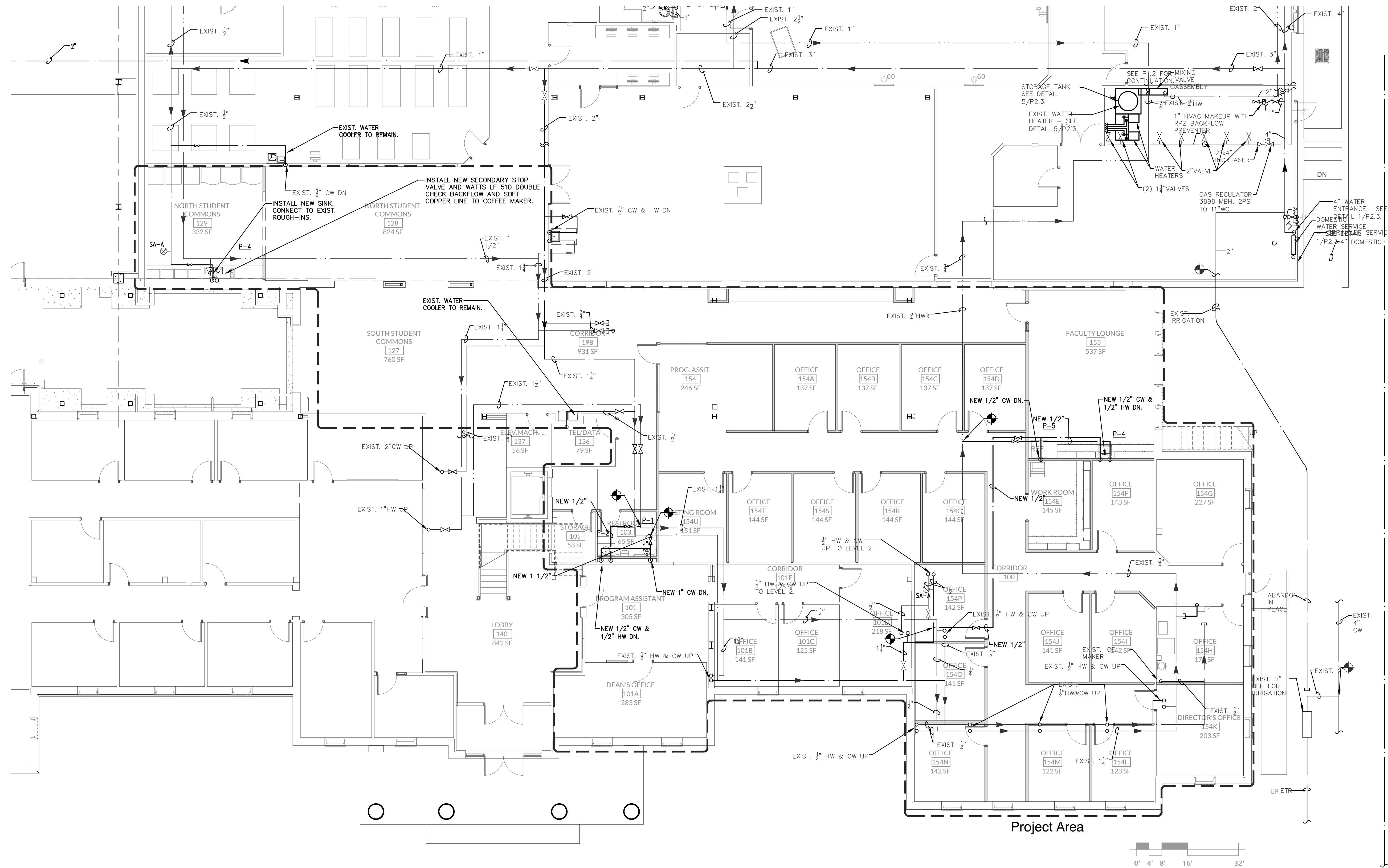
**Francis Center Health Sciences Renovation - Phase 4**

762 East Haggard Ave., Elon, NC

Key Plan



Revisions	No.	Date	Description

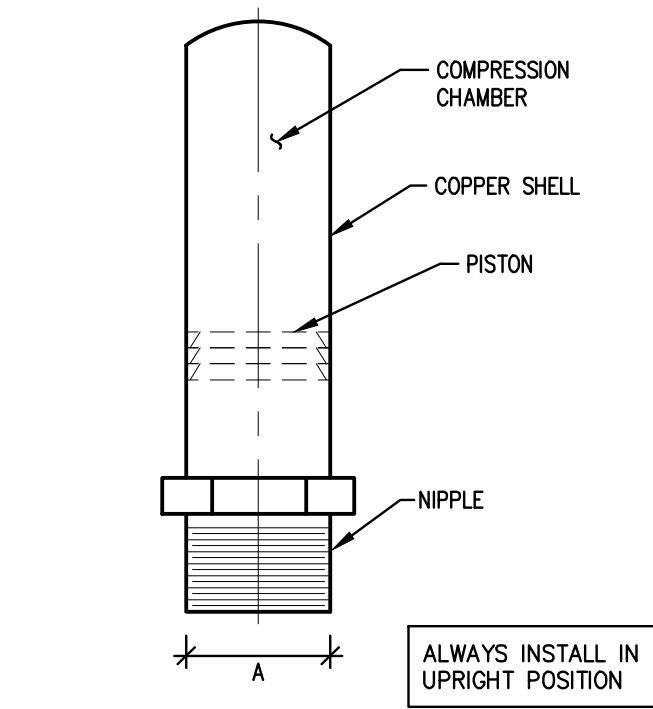


**1 Plumbing Renovation Plan - Water - Level 1**  
**P202.1** SCALE: 1/8" = 1'-0" **PHASE 4**

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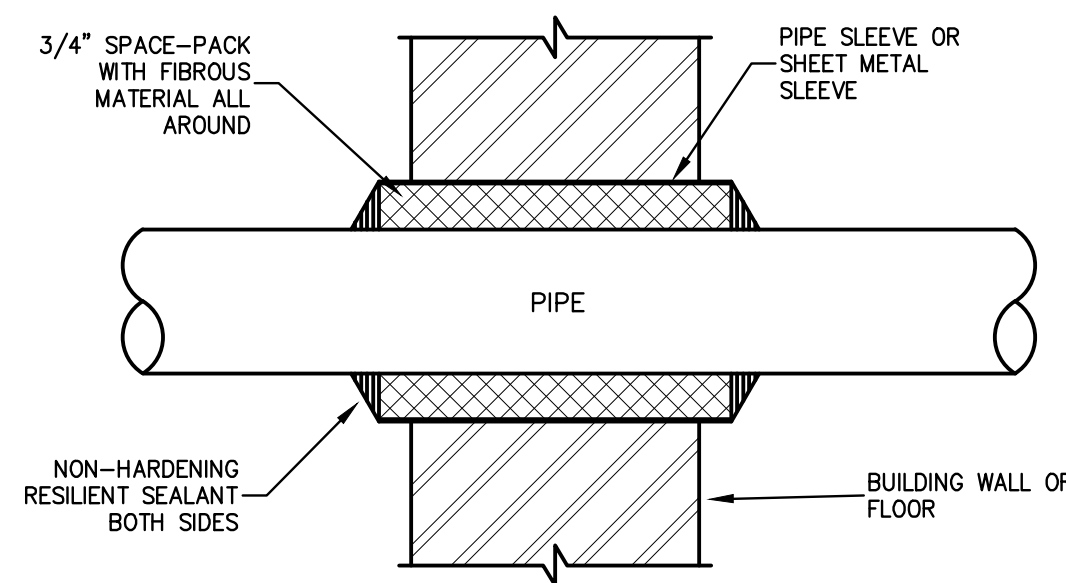
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**Plumbing Renovation Plan Level 1 - Phase 4**

Sheet Number  
**P202.1**

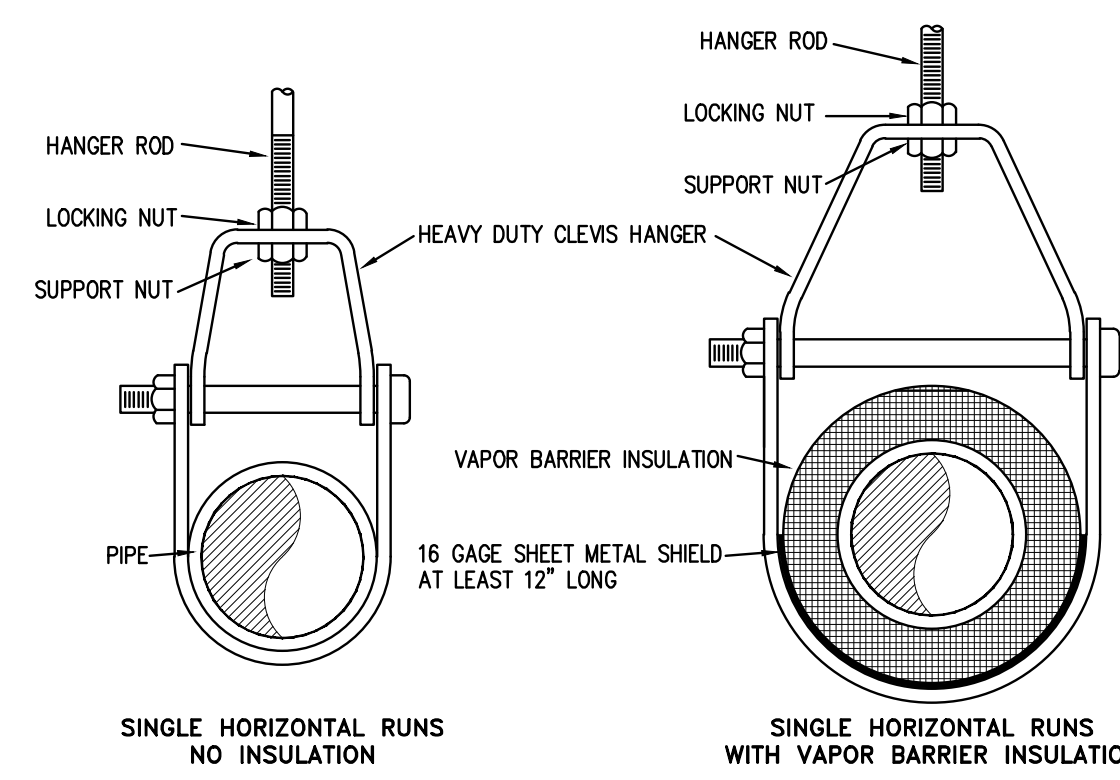


P.D.I. SYMBOL	FIXTURE UNIT RATING	A SIZE
A	1-11	1/2
B	12-32	3/4
C	33-60	1
D	61-113	1 1/4
E	114-154	1 1/2
F	155-330	2

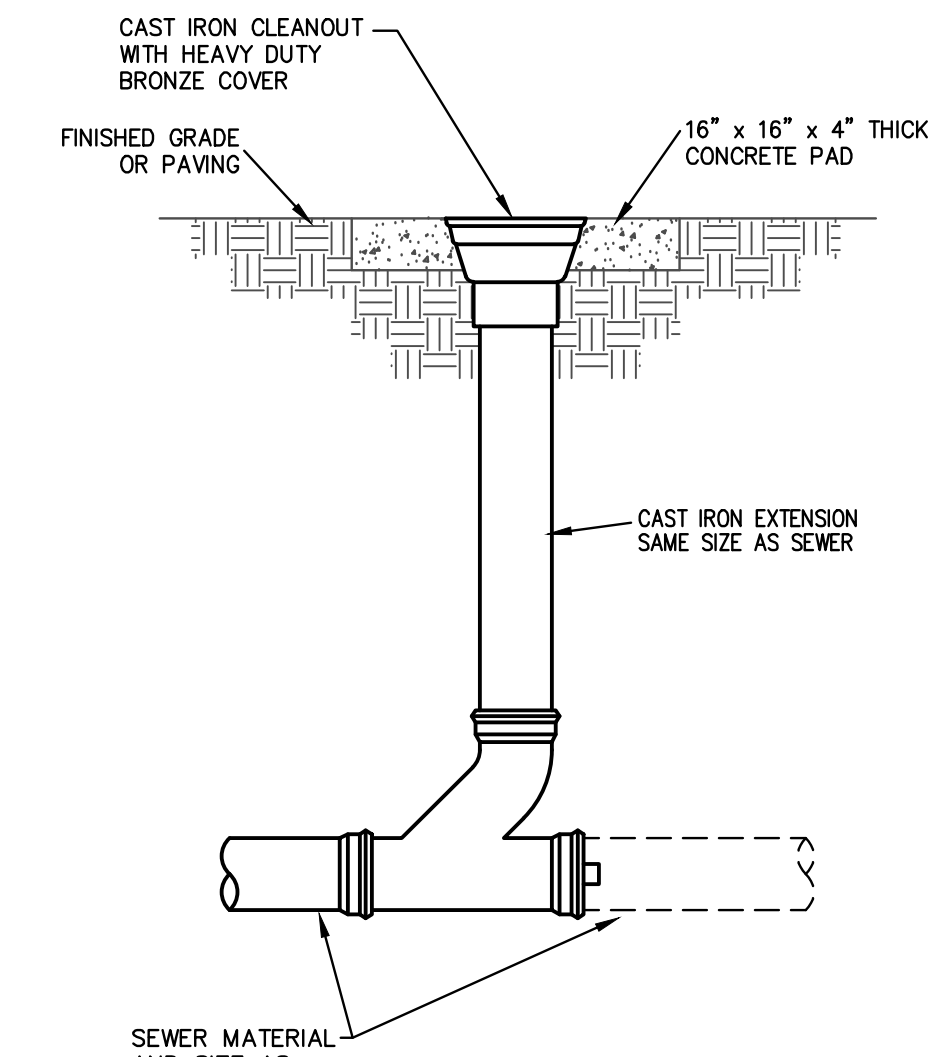
**1 Shock Arrester Schedule**  
P401.1 SCALE: NONE



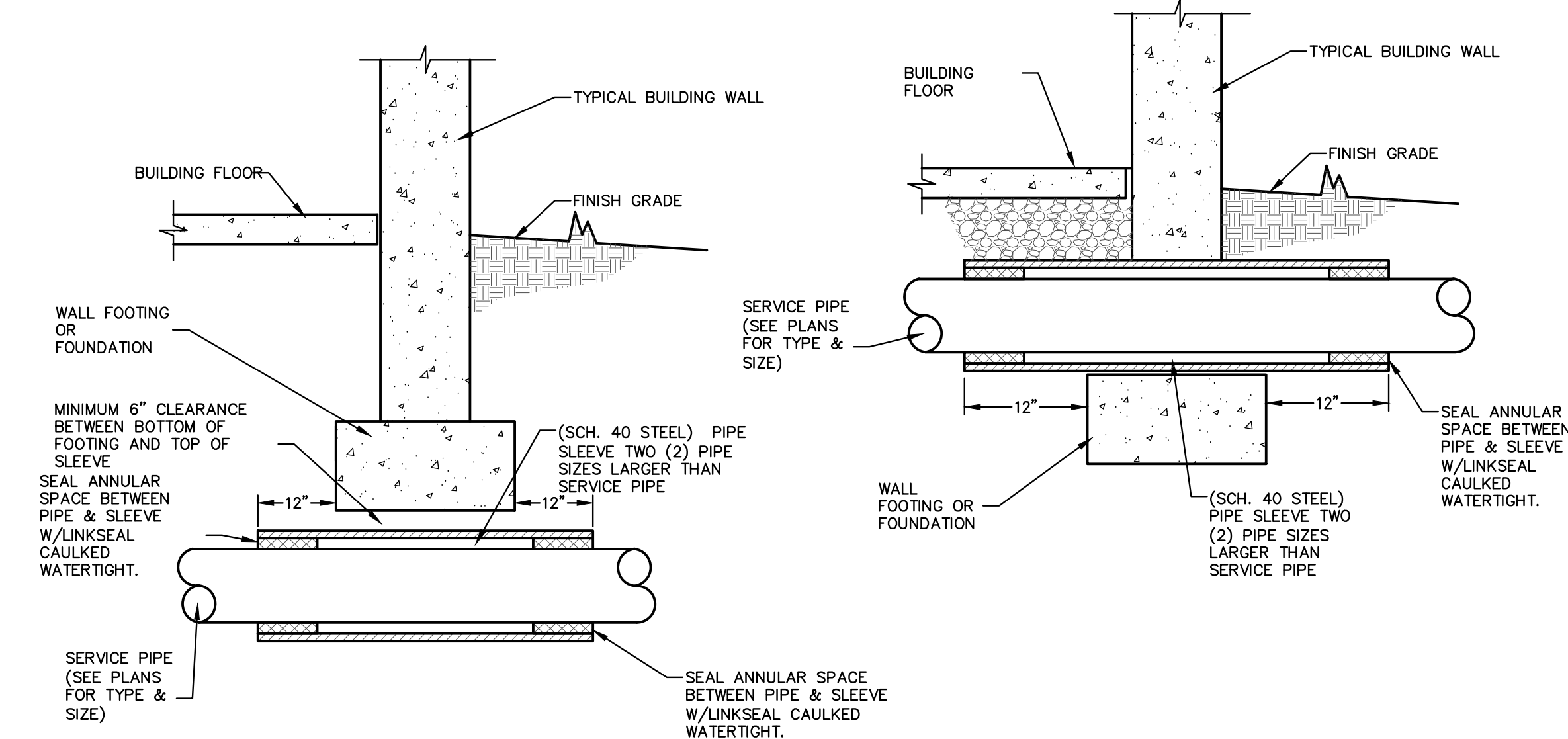
**2 Typical Wall Penetration Detail**  
P401.1 SCALE: NONE



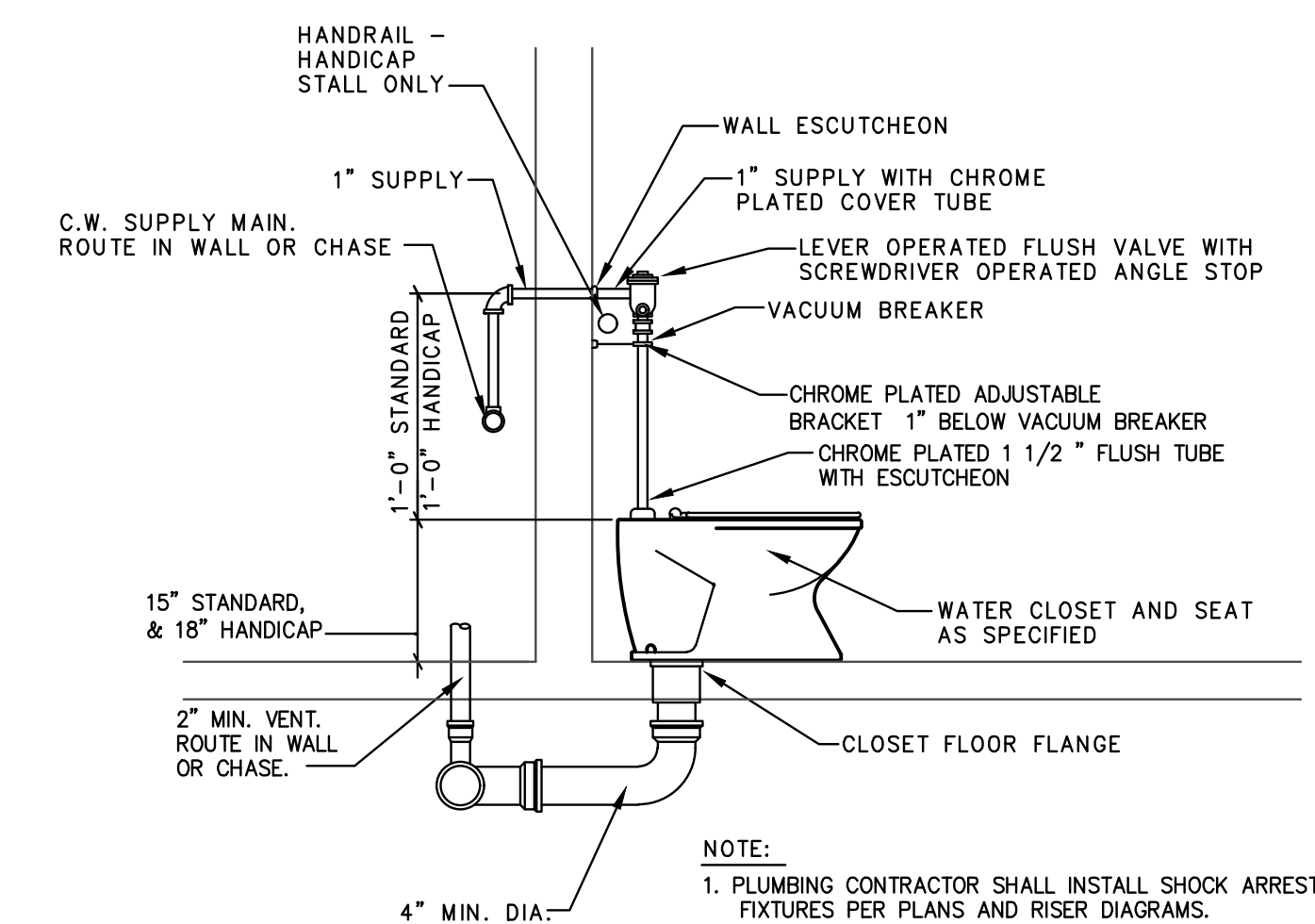
**3 Clevis Hanger Detail**  
P401.1 SCALE: NONE



**4 Exterior Cleanout Detail**  
P401.1 SCALE: NONE

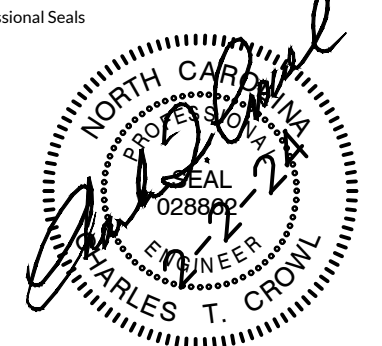


**5 Typical Pipe Sleeve Detail**  
P401.1 SCALE: NONE



**6 Floor Mounted Water Closet Detail**  
P401.1 SCALE: NONE

Revisions	No.	Date	Description



Revisions	No.	Date	Description

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Project Number: 22-010.1  
Drawn: LDH  
Checked: CTC  
Date: 2/2/2024

Sheet Title  
**Plumbing Details Sheet**

Sheet Number

**P402.1**

Classified by  
Underwriters Laboratories, Inc.  
1014 479 and CANULC S115

**System No. W-L-5029**

ANSI/UL1479 (ASTM E814)	CANULC S115
F Ratings — 1, 2 and 3 Hr (See Items 1, 3 and 4)	F Ratings — 1, 2 and 3 Hr (See Items 1, 3 and 4)
T Ratings — 0, 1/2, 1 and 1-1/4 Hr (See Item 3)	FT Ratings — 0, 1/2, 1 and 1-1/4 Hr (See Item 3)
L Rating At Ambient — 4 CFMSq Ft	FH Ratings — 1, 2 and 3 Hr (See Items 1, 2 and 4)
L Rating At 400 F — Less Than 1 CFMSq Ft	FTH Ratings — 0, 1/2, 1 and 1-1/4 Hr (See Item 3)
	L Rating At Ambient — 4 CFMSq Ft
	L Rating At 400 F — Less Than 1 CFMSq Ft

WL 5029

**SECTION A-A**

1. Wall Assembly — The 1, 2 or 3 hr fire-rated gypsum board/stud wall assembly shall be constructed of the materials and in the manner specified in the individual U300, U400, V400 or W400 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:

A. Studs — Wall framing may consist of either wood studs or steel channel studs. Wood studs to consist of nom 2 by 4 in. (51 by 102 mm) lumber spaced 16 in. (406 mm) OC. Steel studs to be min 2-1/2 in. (64 mm) wide for 1 and 2 hr F and FH rating and 3-1/2 in. (89 mm) wide for 3 hr F and FH rating and spaced max 24 in. (610 mm) OC.

B. Gypsum Board — Min 5/8 in. (16 mm) thick with square or tapered edges. The gypsum board type, thickness, number of layers, fastener type and sheet orientation shall be as specified in the individual Wall and Partition Design. Max diam of opening is 18-9/8 in. (473 mm). The hourly F and FH Ratings of the firestop system are equal to the hourly fire rating of the wall assembly in which it is installed.

2. Through Penetrants — One metallic pipe or tubing to be installed within the firestop system. Pipe or tubing to be rigidly supported on both sides of wall assembly. The following types and sizes of metallic pipes or tubing may be used:

A. Steel Pipe — Nom 12 in. (305 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.

B. Iron Pipe — Nom 12 in. (305 mm) diam (or smaller) cast or ductile iron pipe.

C. Copper Tubing — Nom 6 in. (152 mm) diam (or smaller) Type L (or heavier) copper tubing. When the hourly F or FH Rating of the firestop system is 3 hr, the nom diam of copper tube shall not exceed 4 in. (102 mm).

D. Copper Pipe — Nom 6 in. (152 mm) diam (or smaller) Regular (or heavier) copper pipe. When the hourly F or FH Rating of the firestop system is 3 hr, the nom diam of copper pipe shall not exceed 4 in. (102 mm).

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Page: 1 of 2

**System No. W-L-5029**

3. Pipe Covering\* — Nom 1, 1-1/2 or 2 in. (25, 38 or 51 mm) thick hollow cylindrical heavy density (min 3.5 pcf or 56 kg/m<sup>3</sup>) glass fiber units jacketed on the outside with an all service jacket. Longitudinal joints sealed with metal fasteners or factory-applied self-sealing lap tape. Transverse joints secured with metal fasteners or with butt tape supplied with the product. For 1 and 2 hr F and FH Ratings, the annular space between insulated penetrant and periphery of opening shall be min 0 in. (point contact) to max 1-7/8 in. (48 mm). For 3 hr F and FH Ratings, the annular space shall be min 0 in. (point contact) to max 1-1/4 in. (32 mm).

See Pipe and Equipment Covering — Materials (BRGU) category in the Building Material Directory for the names of manufacturers. Any pipe covering material meeting the above specifications and bearing the UL Classification Marking with a Flame Spread Index of 25 or less and a Smoke Developed Index of 50 or less may be used.

The hourly T, FT, FTH Ratings of the firestop system are 1/2 hr for 1 hr rated walls and 1 hr for 2 hr rated walls. For 3 hr rated walls, the hourly T, FT and FTH Ratings when steel and iron pipes are used are 1 hr. For 3 hr rated walls, the hourly T, FT and FTH Ratings when copper penetrants are used are 1-1/4 hr for 2 in. (51 mm) thick pipe covering and 0 hr for pipe covering thickness less than 2 in. (51 mm).

3A. Pipe Covering\* — (Not Shown) — As an alternate to item 3, max 2 in. (51 mm) thick cylindrical calcium silicate (min 14 pcf) units sized to the outside diam of the pipe or tube may be used. Pipe insulation secured with stainless steel bands or min 18 AWG stainless steel wire spaced max 12 in. (305 mm) OC. When the alternate pipe covering is used, the T and FT Rating shall be as specified in item 3 above.

See Pipe and Equipment Covering — Materials (BRGU) category in the Building Materials Directory for names of manufacturers. Any pipe covering material meeting the above specifications and bearing the UL Classification Marking with a Flame Spread Index of 25 or less and a Smoke Developed Index of 50 or less may be used.

4. Fill, Void or Cavity Material\* — Sealant — For 1 and 2 hr F and FH Rating, min 5/8 in. (16 mm) thickness of fill material applied within the annulus, flush with both surfaces of wall. For 3 hr F and FH Rating, min 1 in. (25 mm) thickness of fill material applied within the annulus, flush with both surfaces of wall. At the point contact location between pipe covering and gypsum board, a min 1/2 in. (13 mm) diam bead of fill material shall be applied at the pipe covering/gypsum board interface on both surfaces of wall.

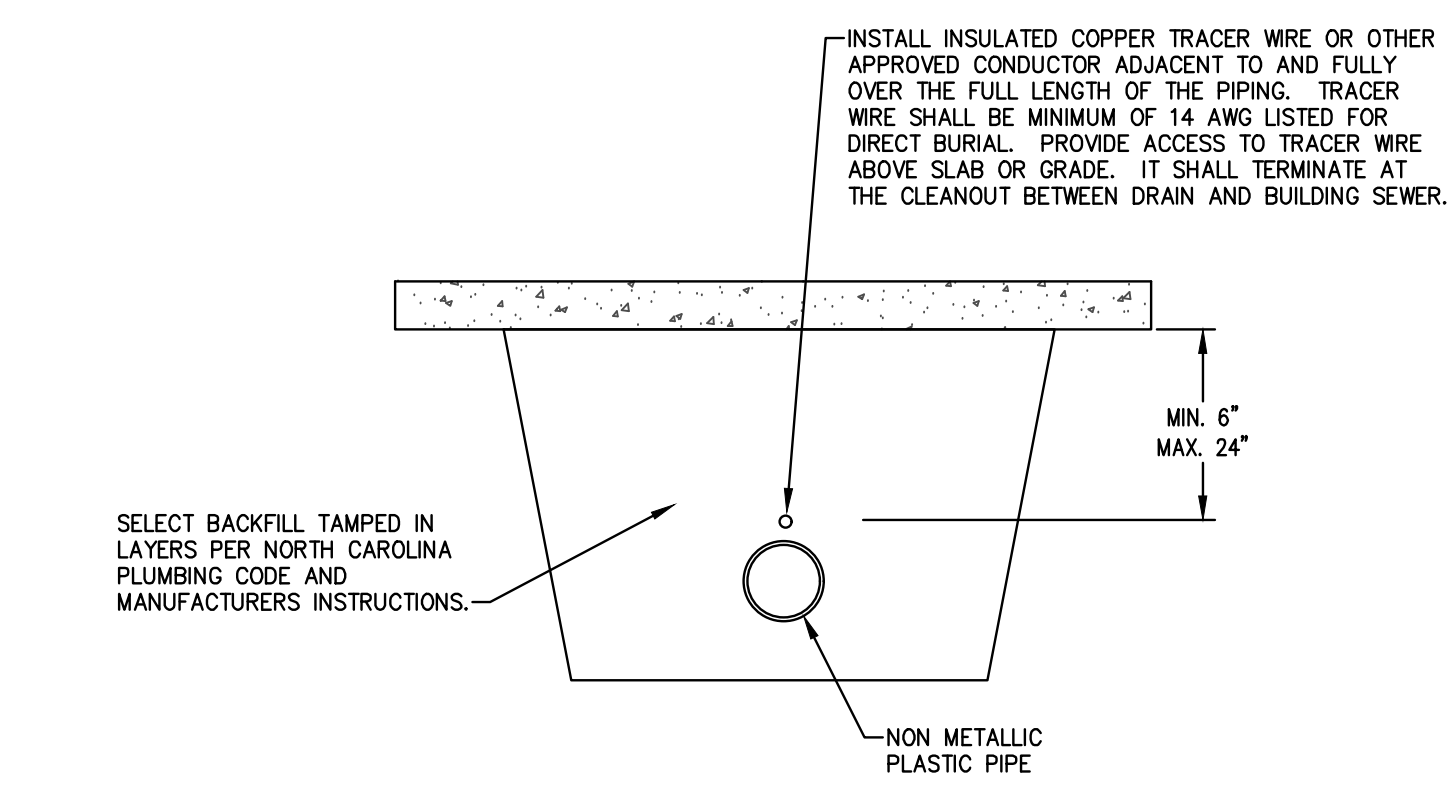
HILTI CONSTRUCTION CHEMICALS, DIV OF HILTI INC — FS-One Sealant or FS-ONE MAX Intumescent Sealant

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

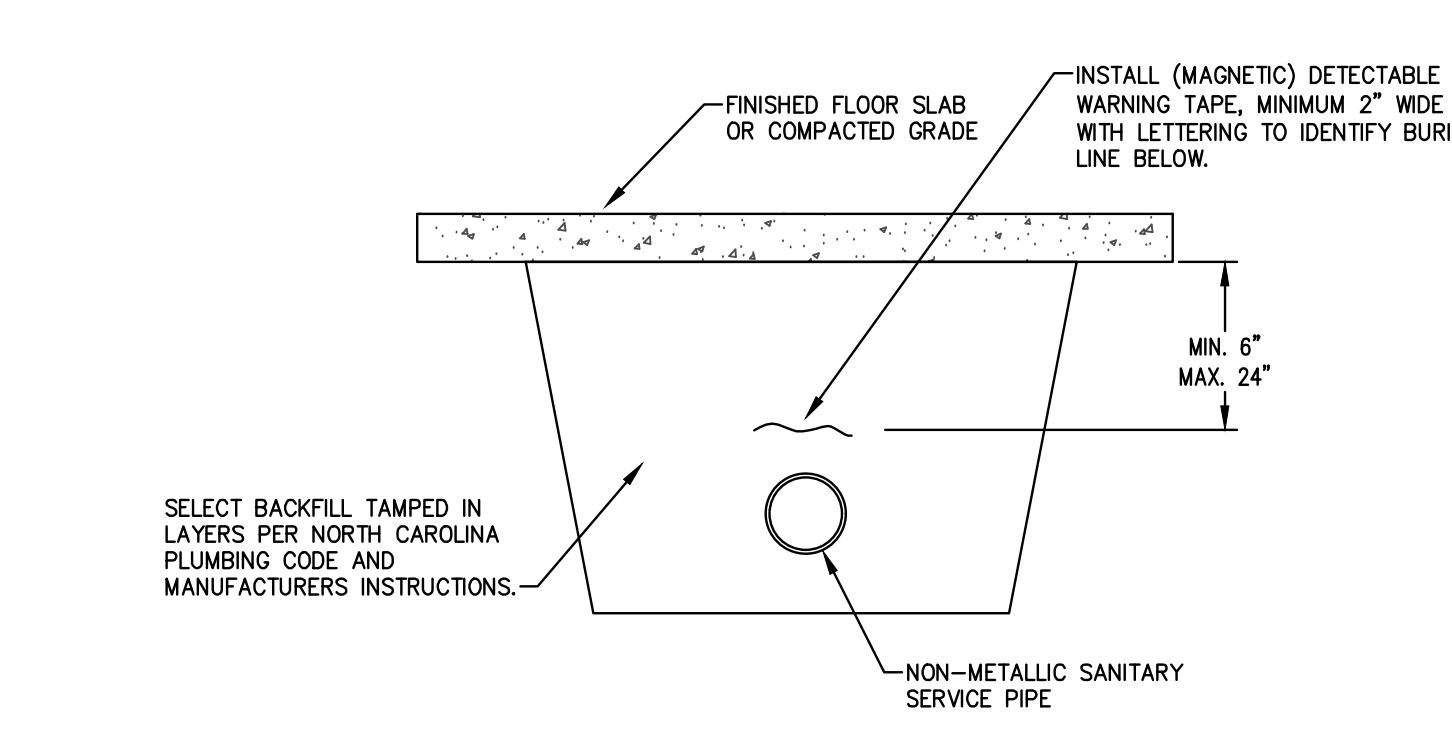
WL 5029

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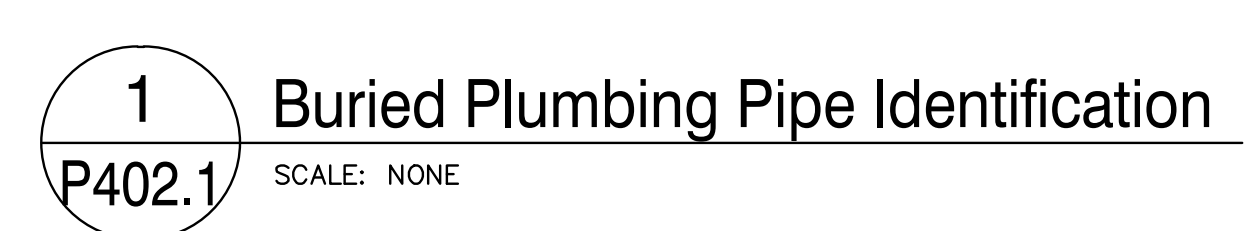
Page: 2 of 2



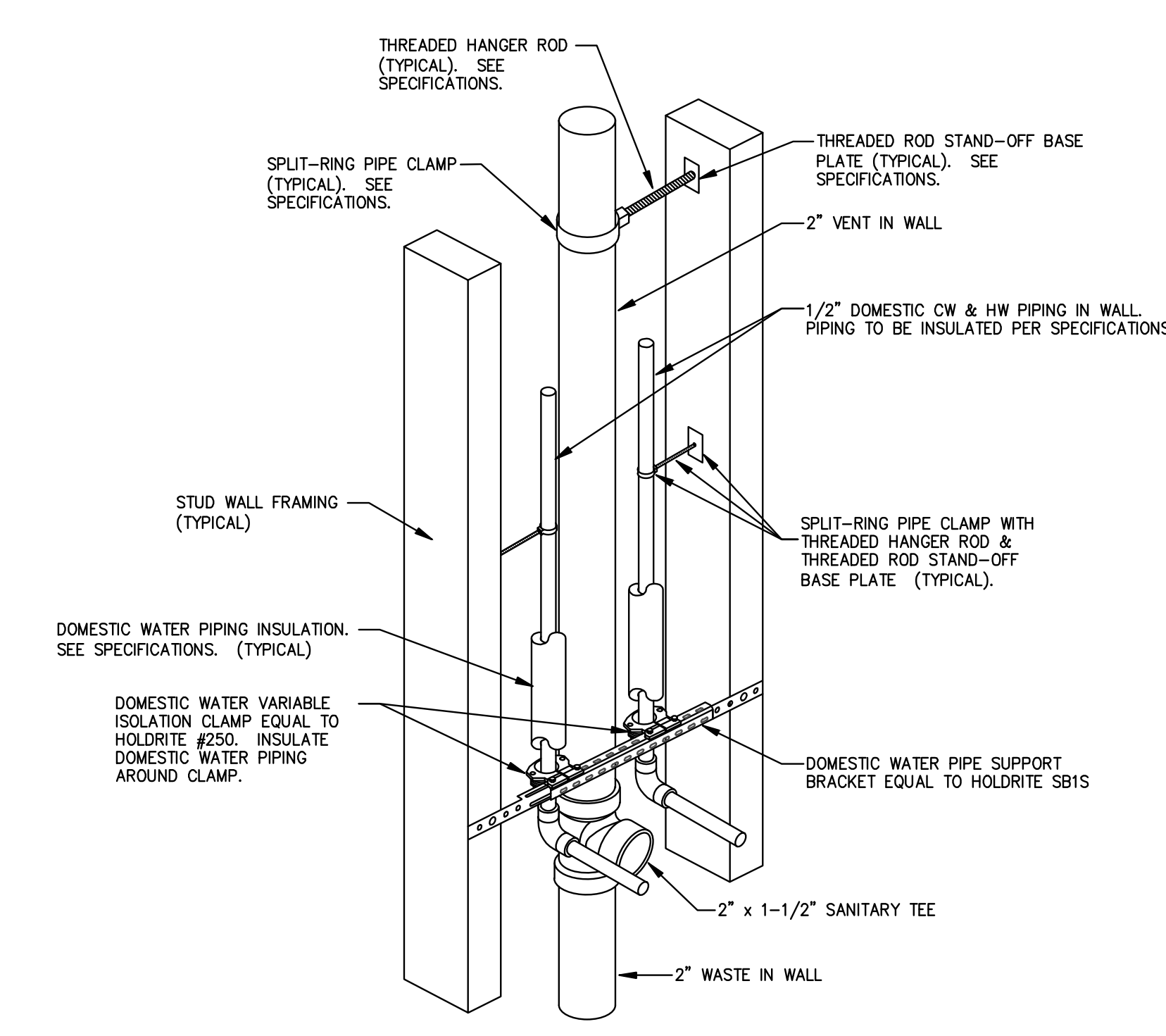
**Interior Non Metallic Sewer Piping**  
SCALE: NONE



**Exterior Non Metallic Plumbing Piping**  
SCALE: NONE



NOTES:  
TRACER WIRE SHALL BE INSTALLED OVER SEWER AND STORM PIPING THROUGHOUT BUILDING AND TERMINATE AT THE EXTERIOR CLEANOUT. METALLIC TAPE SHALL BE USED OVER EXTERIOR NON-METALLIC PIPE. INSTALL PER NCPD SECTION 306.2.4.



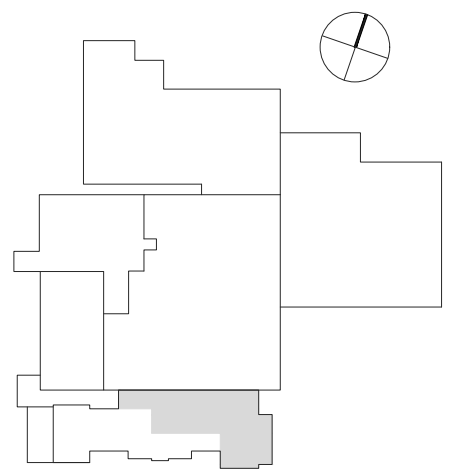
**2**  
**P4.2**

**Supply Pipe Support At Fixture Connection**  
SCALE: NONE

NOTES:  
1. STAND-OFF SPLIT RING CLAMPS SHALL BE LOCATED ON THE WASTE, DOMESTIC COLD WATER, AND DOMESTIC HOT WATER PIPING. LOCATE IN WALL AT PIPE MIDPOINT.  
2. A SECOND STAND-OFF SPLIT RING CLAMP IS REQUIRED TO BE PLACED ON THE WASTE PIPING 18" AFF MAX. LOCATE THE CLAMP ON THE CAST IRON PIPE PRIOR TO TRANSITIONING TO PVC BELOW SLAB.  
3. PROVIDE POLYETHYLENE TUBE ISOLATORS WHEN PASSING THROUGH STUD WALLS. ISOLATOR TO EQUAL HOLDRITE MODEL #104.  
4. METAL STRAPPING IS NOT PERMITTED TO BE USED FOR PIPE SUPPORT.





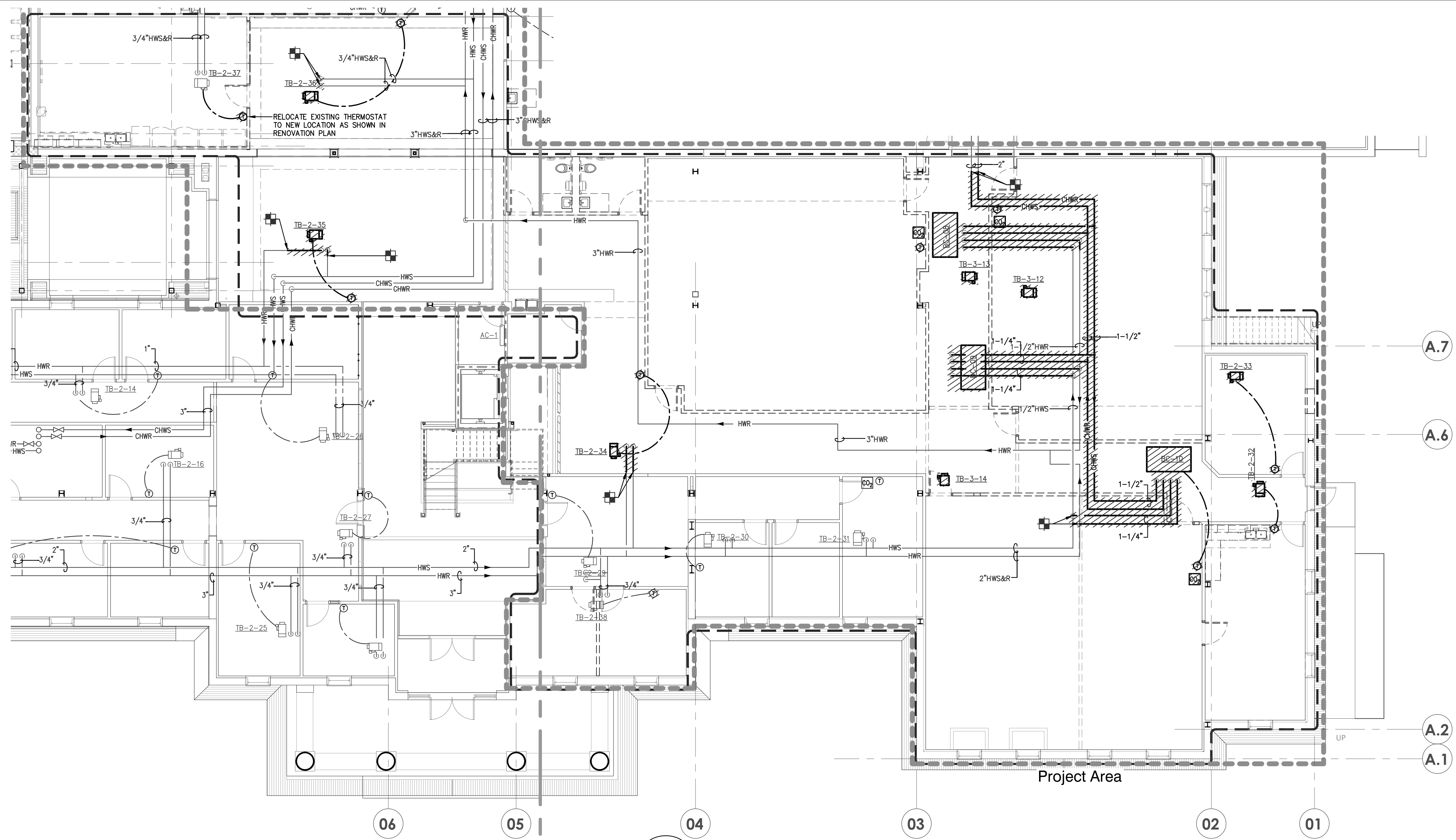


Revisions	No.	Date	Description

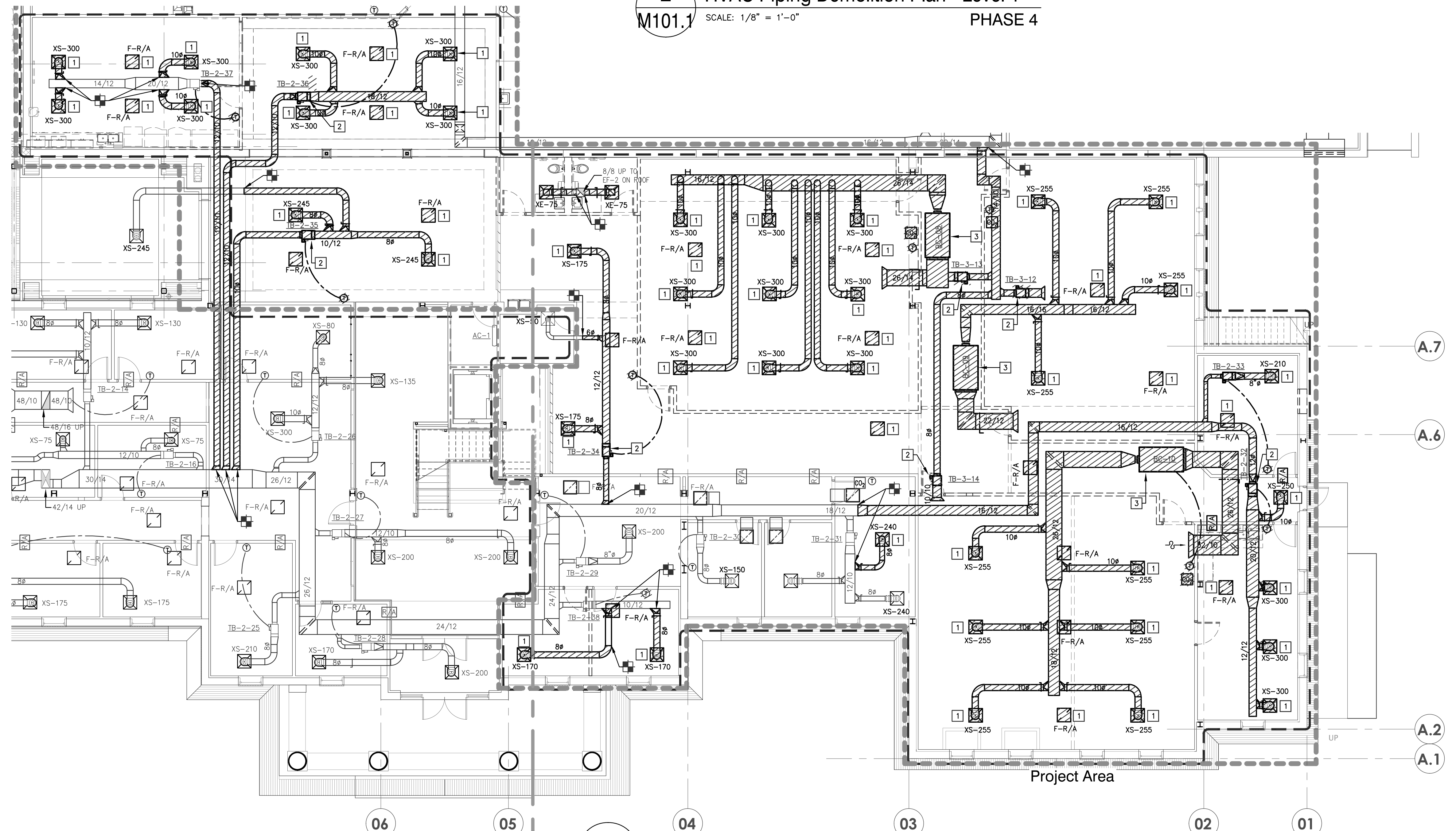
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Drawn: RAS  
Checked: CTC  
Date: 2/2/2024

Sheet Title  
**Mechanical Demolition Plan  
Level 1 - Phase 4**

Sheet Number  
**M101.1**



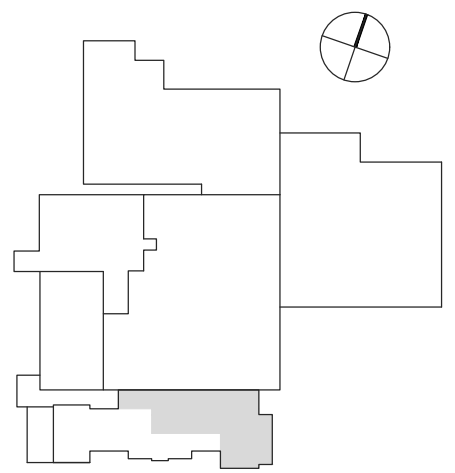
**2 HVAC Piping Demolition Plan - Level 1**  
M101.1 SCALE: 1/8" = 1'-0" PHASE 4



**1 HVAC Demolition Plan - Level 1**  
M101.1 SCALE: 1/8" = 1'-0" PHASE 4

KEYED DEMOLITION NOTES	
1	SALVAGE ALL AIR DISTRIBUTION DEVICES (SUPPLY AIR DIFFUSERS AND RETURN AIR GRILLES). CLEAN AND USE IN RENOVATION WHERE SIZE AND TYPE ARE APPROPRIATE.
2	SALVAGE ALL VARIABLE AIR VOLUME (VAV) TERMINAL UNITS. IF NOT USED IN RENOVATION, TURN OVER TO ELON UNIVERSITY PROJECT MANAGER.
3	SALVAGE ALL BLOWER COIL UNITS AND TURN OVER TO ELON UNIVERSITY PROJECT MANAGER.

P:\PROJECTS\2022\02-010 ELON FRANCIS CENTER RENOVATION PHASE 3\3.0 CAD\3.40 HVAC\M101.1.DWG PLOTTED 2/2/2024 9:46 AM BY: RENATO SANDEZ



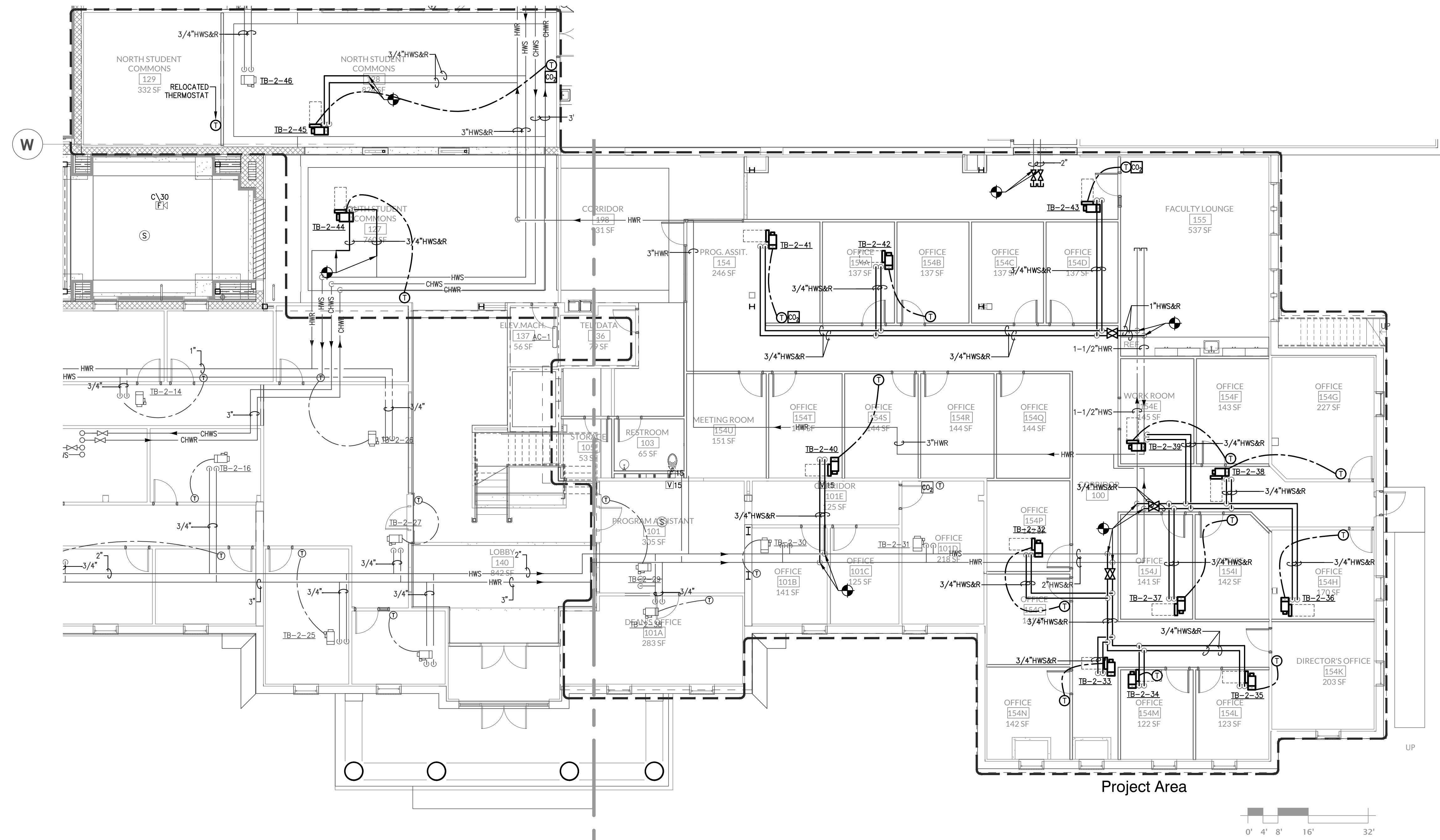
Revisions

No.	Date	Description

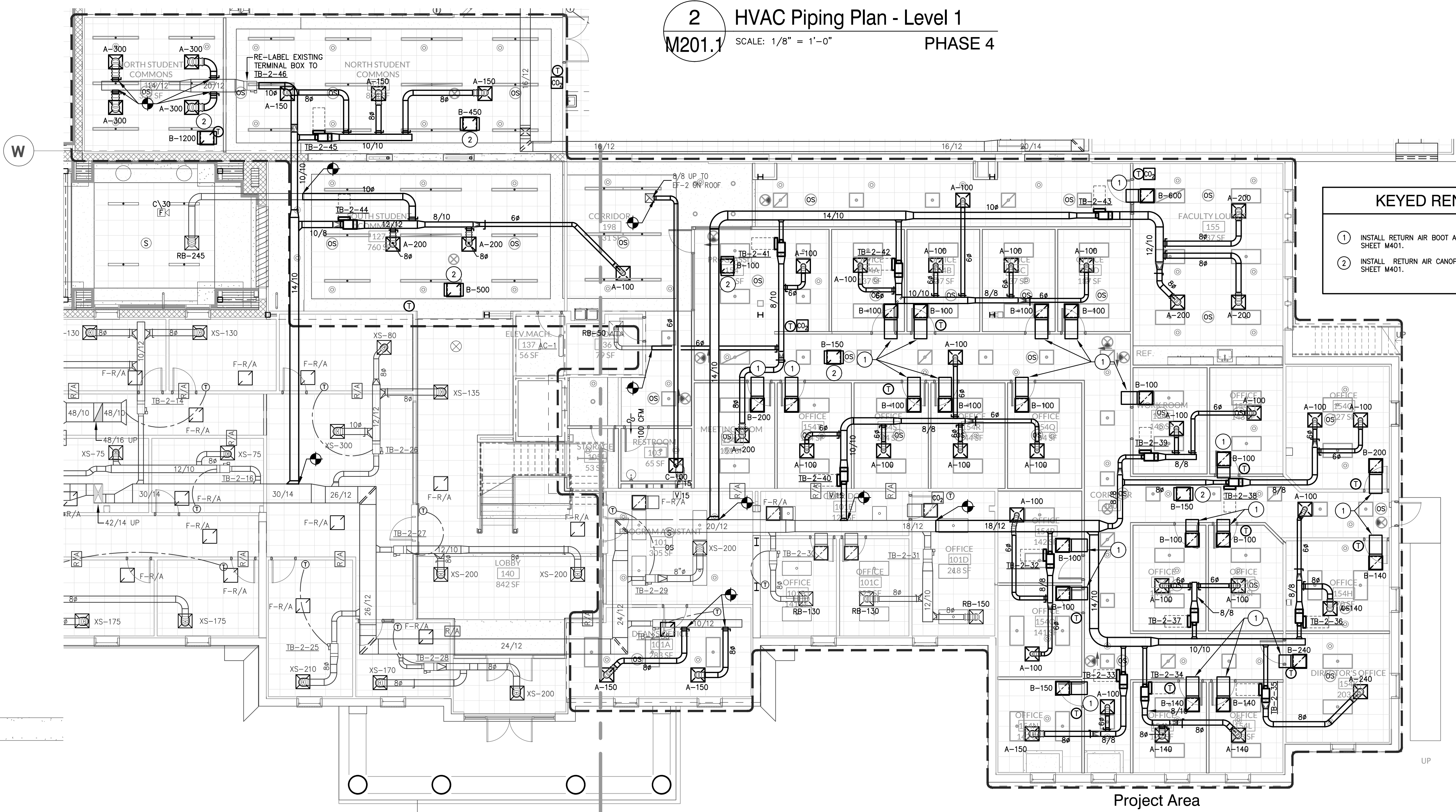
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SHEET TITLE  
**Mechanical Renovation Plan  
Level 1 - Phase 4**

SHEET NUMBER  
**M201.1**



**2 HVAC Piping Plan - Level 1**  
M201.1 SCALE: 1/8" = 1'-0" PHASE 4



**1 HVAC Renovation Plan - Level 1**  
M201.1 SCALE: 1/8" = 1'-0" PHASE 4

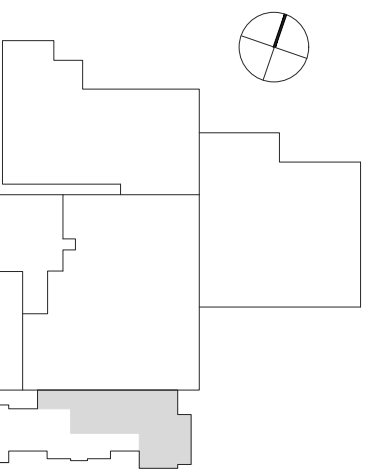
**KEYED RENOVATION NOTES**

- INSTALL RETURN AIR BOOT AS SHOWN IN DRAWINGS. SEE DETAIL 9 ON SHEET M401.
- INSTALL RETURN AIR CANOPY AS SHOWN IN DRAWINGS. SEE DETAIL 10 ON SHEET M401.

P:\PROJECTS\2022-02-040 ELON FRANCIS CENTER RENOVATION PHASE 3\3.0 CAD\3.40 HVAC\M201.1.DWG PLOTTED 2/5/2024 4:10 PM BY: WES SMITH







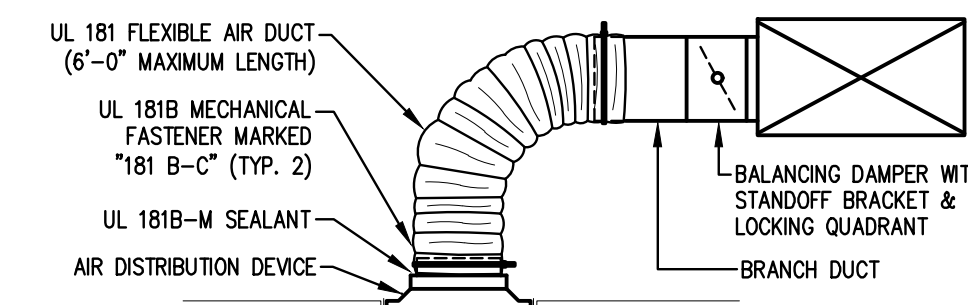
Revisions	No.	Date	Description

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Project Number: 22-010.1  
Drawn: RAS  
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Sheet Title  
**Mechanical Schedules and Sequence of Operations - Phase 4**

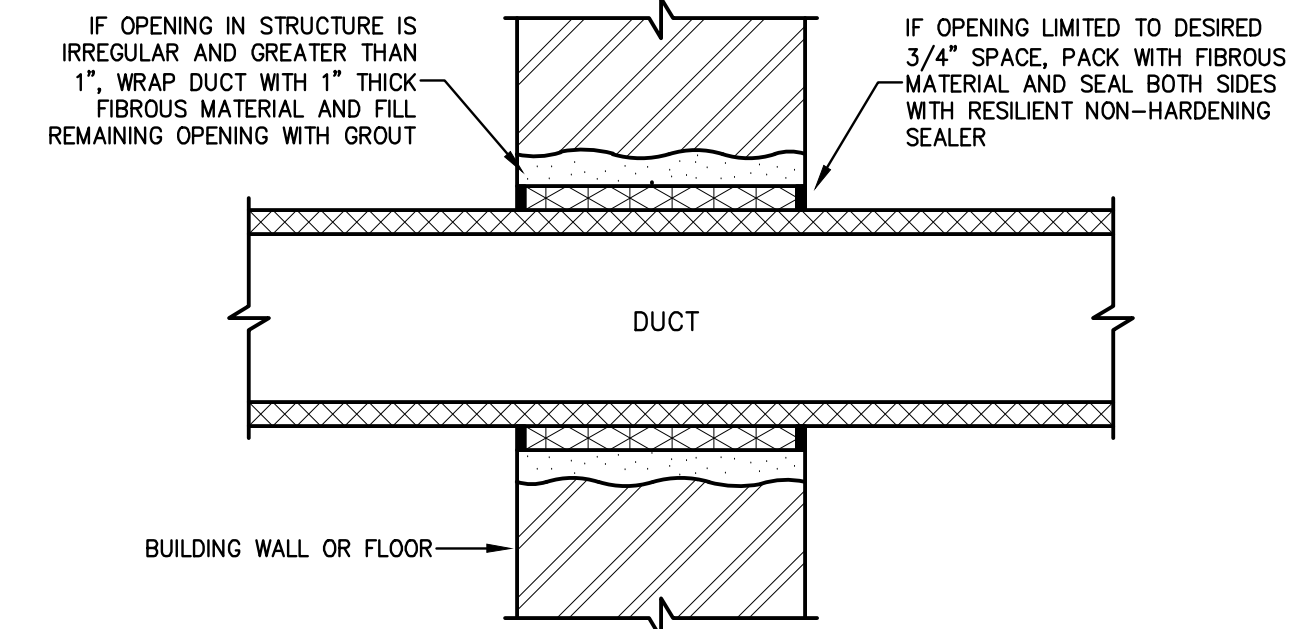
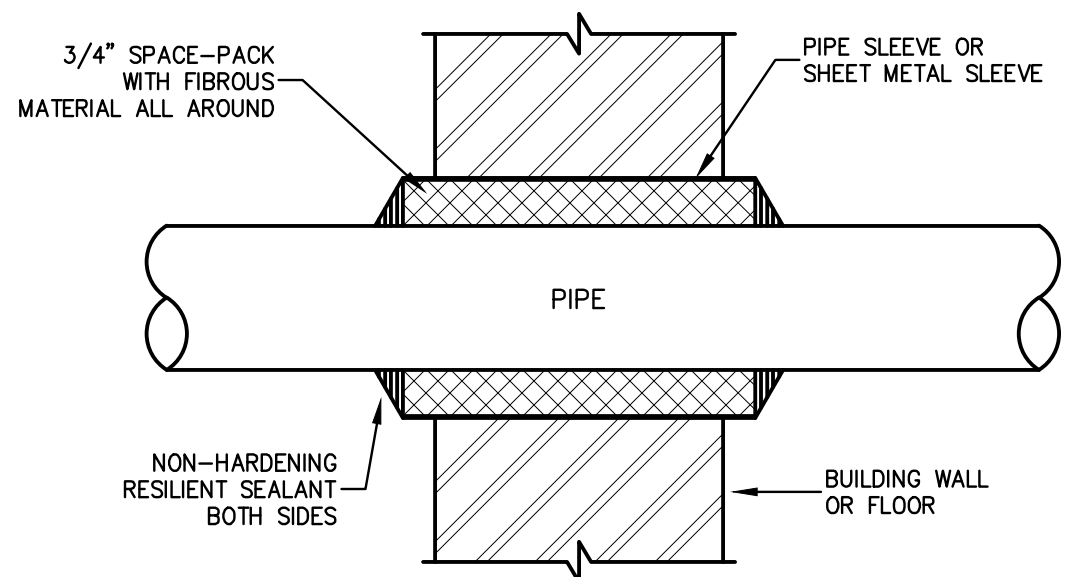
Sheet Number

# M401.1

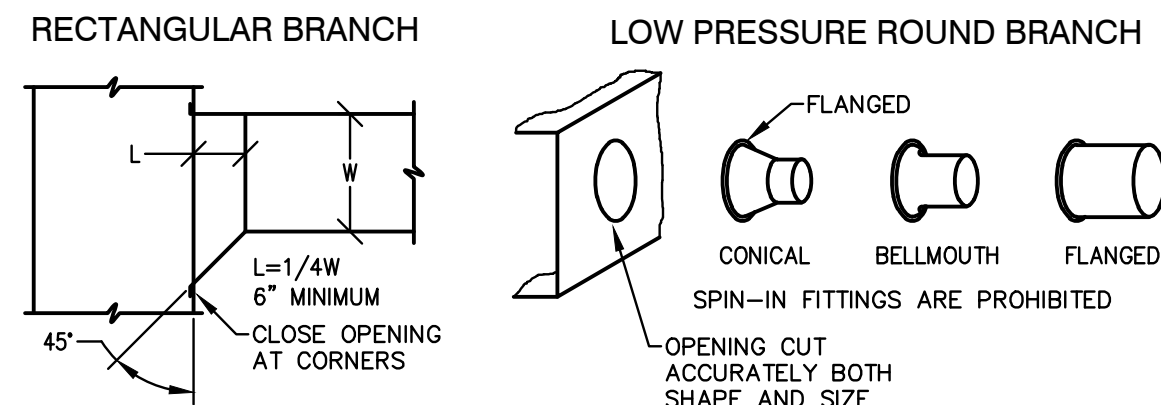
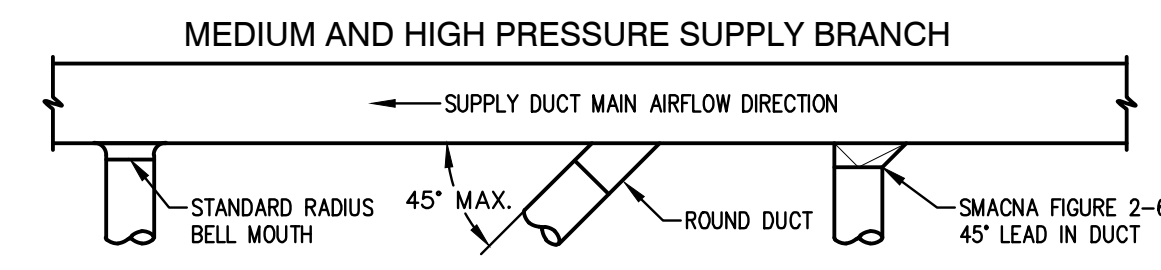
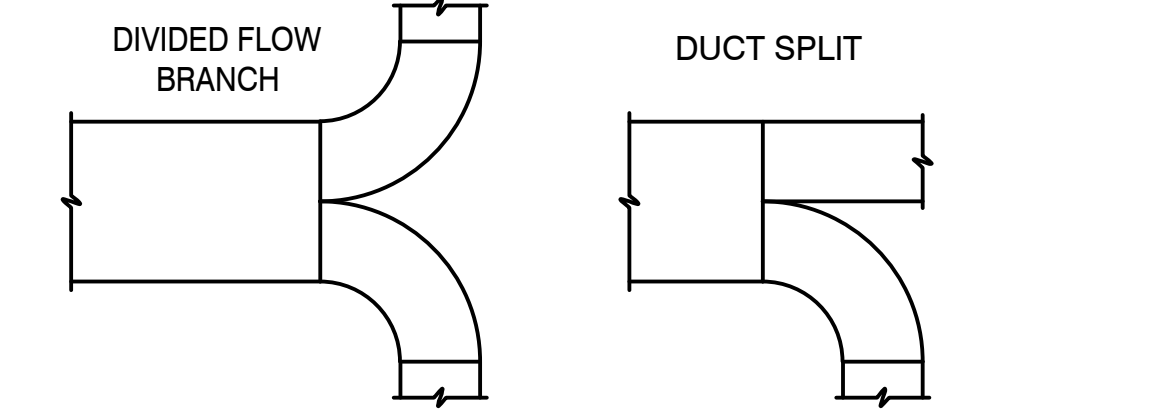
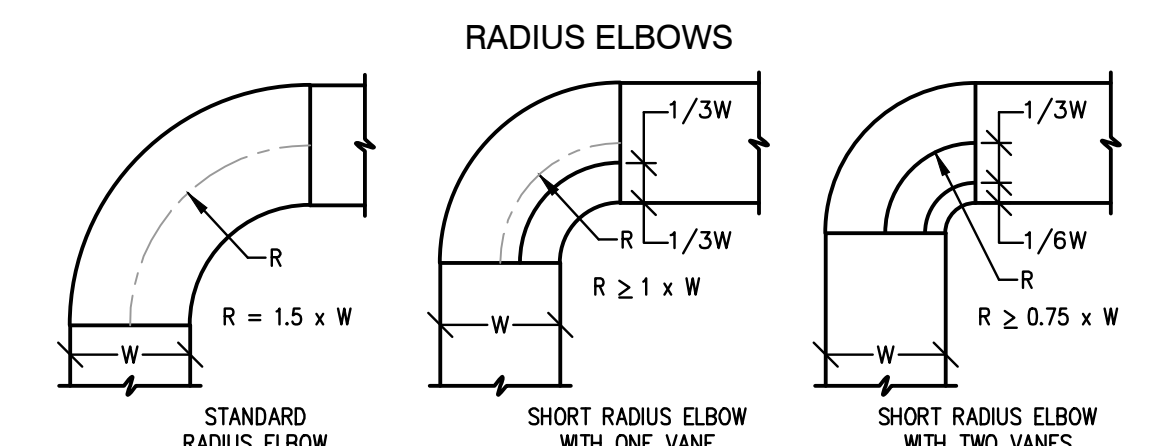


- NOTES:**
1. FLEXIBLE DUCTS SHALL NOT BE INSTALLED ABOVE HARD CEILINGS, ABOVE INACCESSIBLE CEILINGS, ON HIGH PRESSURE SYSTEMS, AND EXHAUST SYSTEMS
  2. FLEXIBLE DUCTS SHALL BE INSTALLED MIN. 4" ABOVE CEILING
  3. SUPPORT FLEXIBLE DUCT WITH INTERMEDIATE SUPPORTS TO LIMIT 4" PER FOOT MAXIMUM DEFLECTION
  4. AIR DISTRIBUTION DEVICE BACKPAN SHALL BE INSULATED
  5. PROVIDE VELOCITY GRID ON DIFFUSERS WITH LESS THAN TWO STRAIGHT INLET DIAMETERS AT DUCT CONNECTION

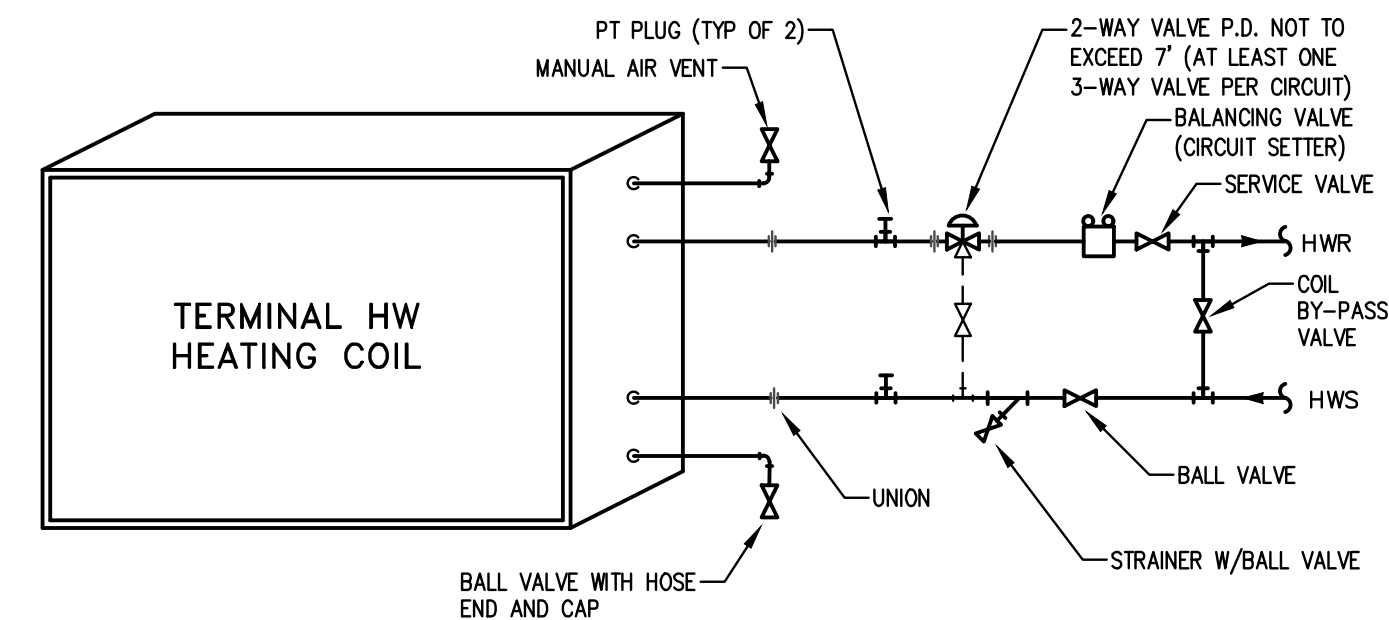
**3** Air Device Connection Detail  
M401.1 SCALE: NONE



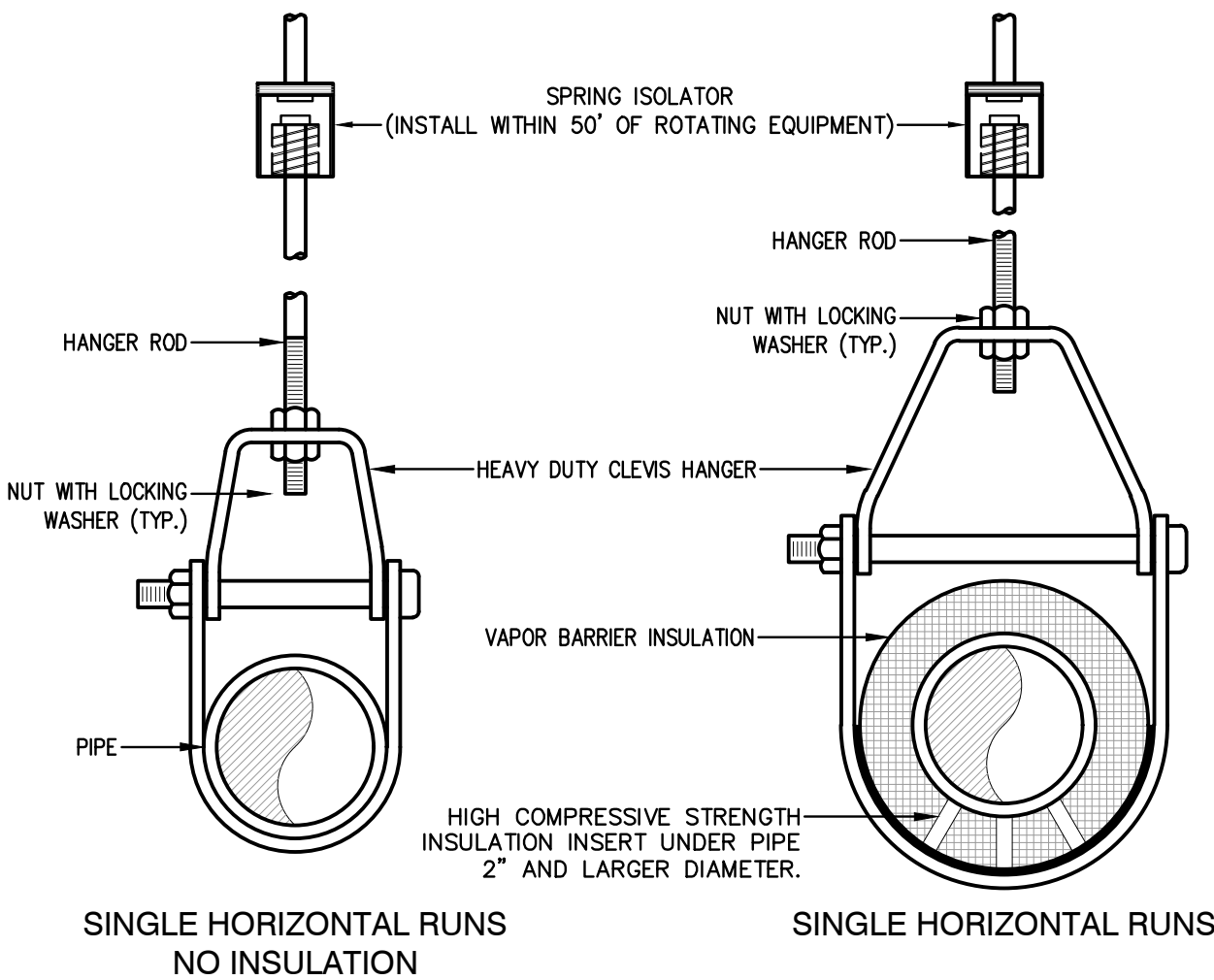
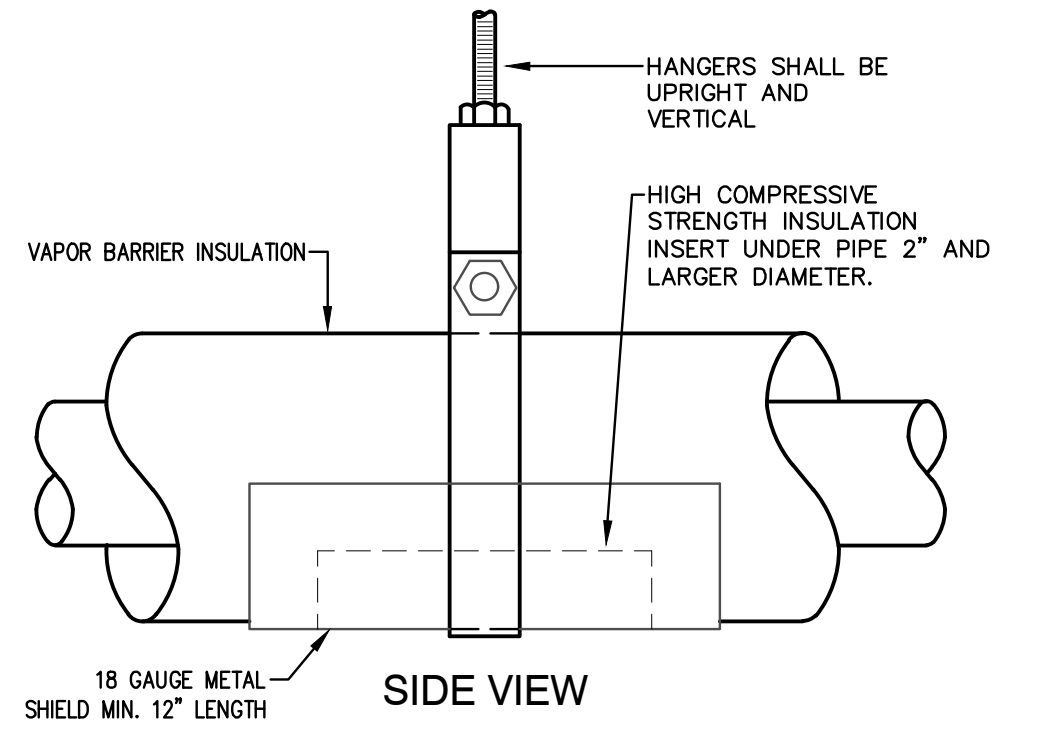
**2** Typical Wall Penetration Details  
M401.1 SCALE: NONE Non-Rated or Smoke-Tight



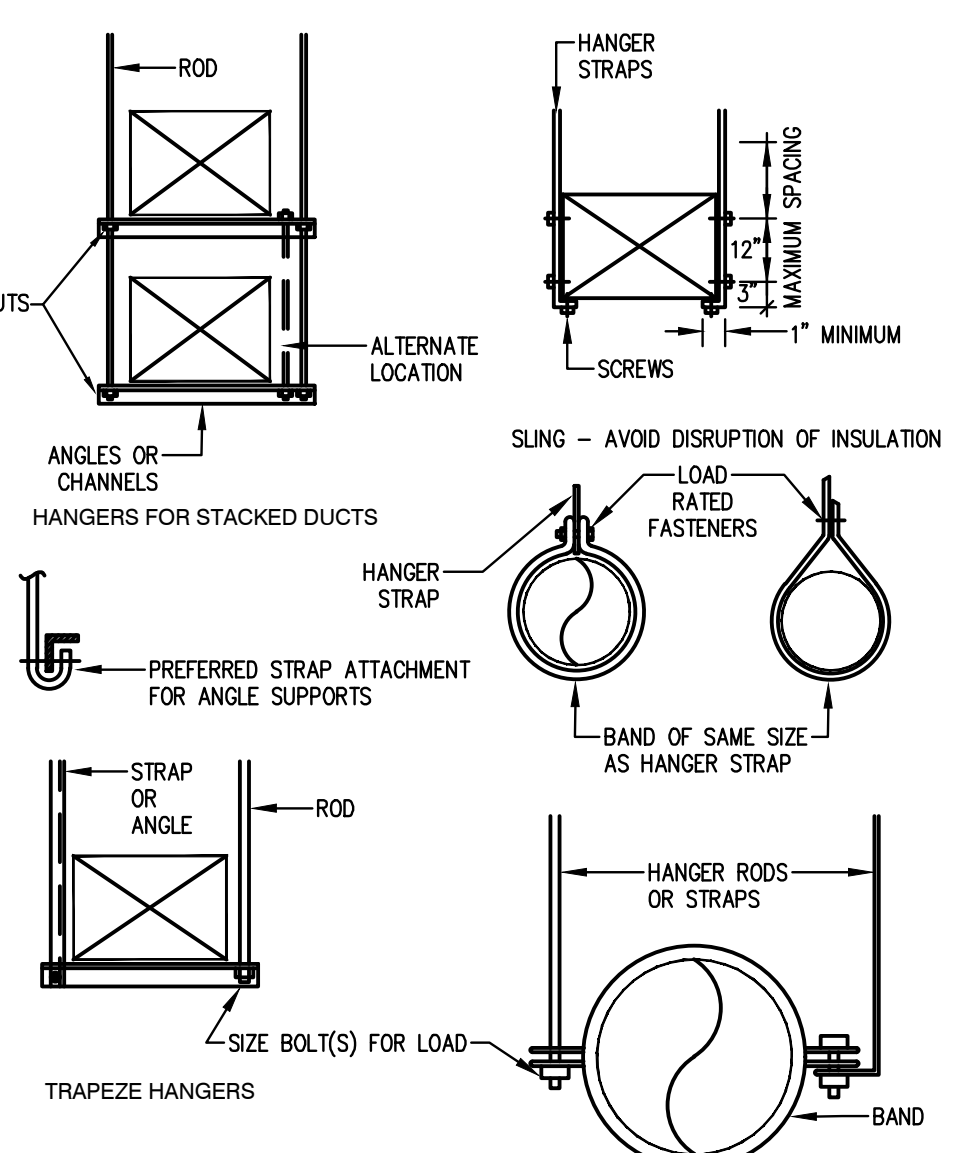
**1** Low Pressure Branch Duct Details  
M401.1 SCALE: NONE



**6** Terminal HW Coil Diagram  
M402 SCALE: NONE

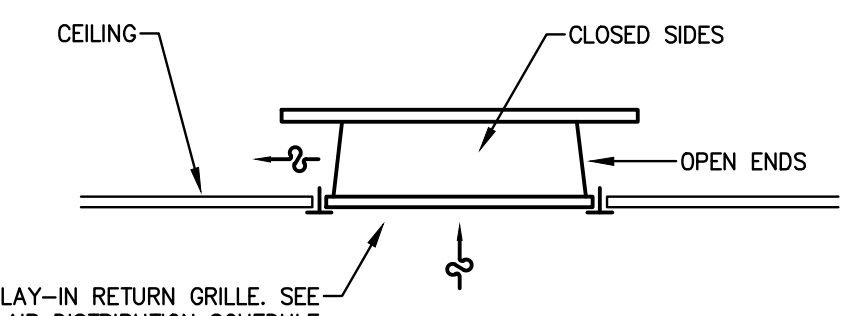


**5** Clevis Hanger Detail  
M401.1 SCALE: NONE



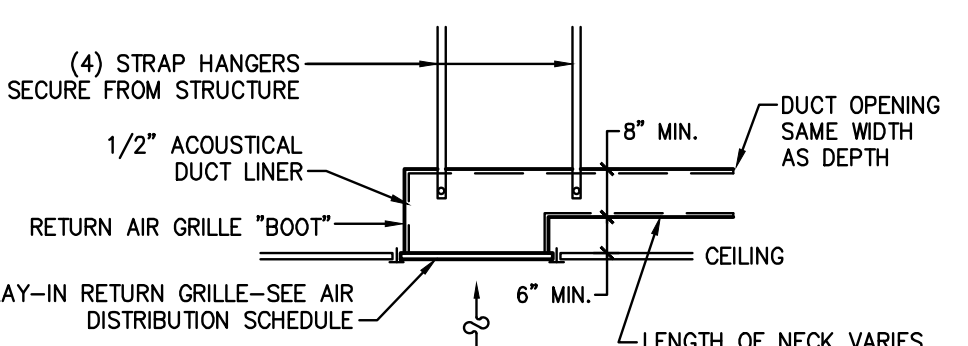
- NOTES:**
1. REINFORCEMENT MAY BE USED FOR ATTACHMENT IF IT QUALIFIES FOR BOTH DUTIES. DO NOT EXCEED LOAD RATINGS FOR METHOD USED.
  2. PROVIDE TRAPEZE HANGERS FOR OVAL DUCTS & RECTANGULAR DUCTS 36" & WIDER AND FOR MEDIUM AND HIGH PRESSURE DUCTS
  3. SUPPORT CHANNEL TRAPEZE HANGERS BY RODS
  4. HANGER RODS SHALL BE ATTACHED WITH WASHER, THREAD LOCKER, & LOCKING NUT

**4** Typical Duct Hangers  
M401.1 SCALE: NONE

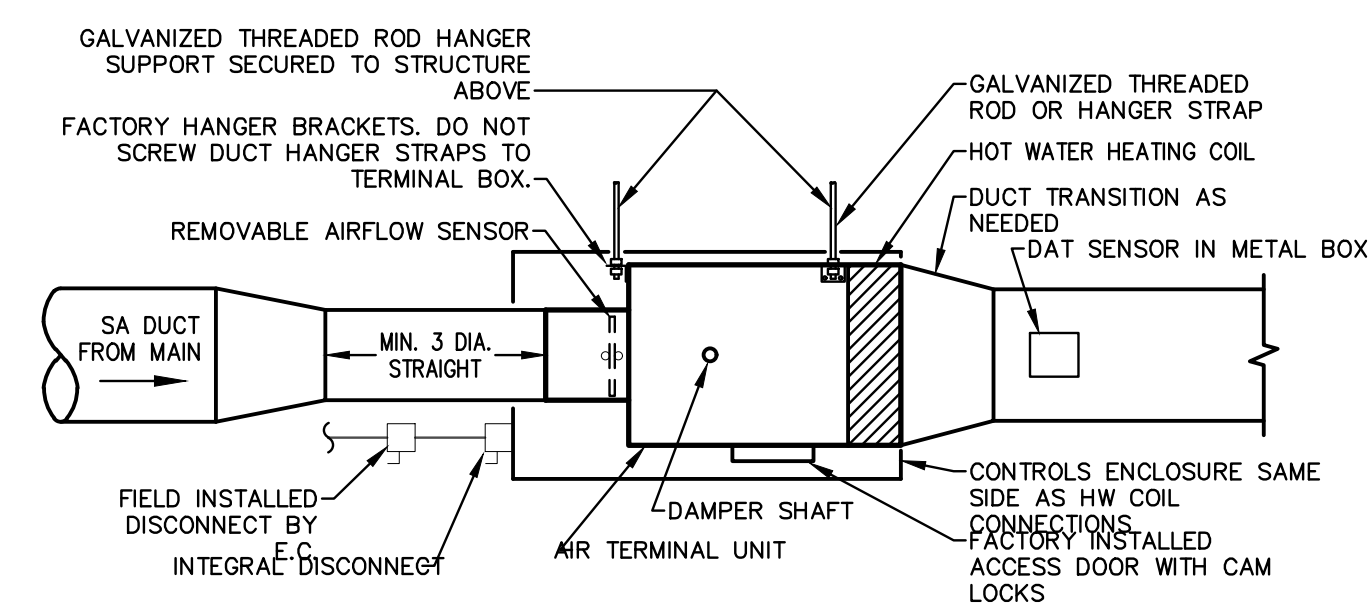


- NOTES:**
1. RETURN AIR CANOPY SHALL BE EQUAL TO PRICE MODEL RAC. PROVIDE FOR EACH NON-DUCTED RETURN AIR GRILLE.

**10** Return Air Grille Detail  
M401.1 SCALE: NONE

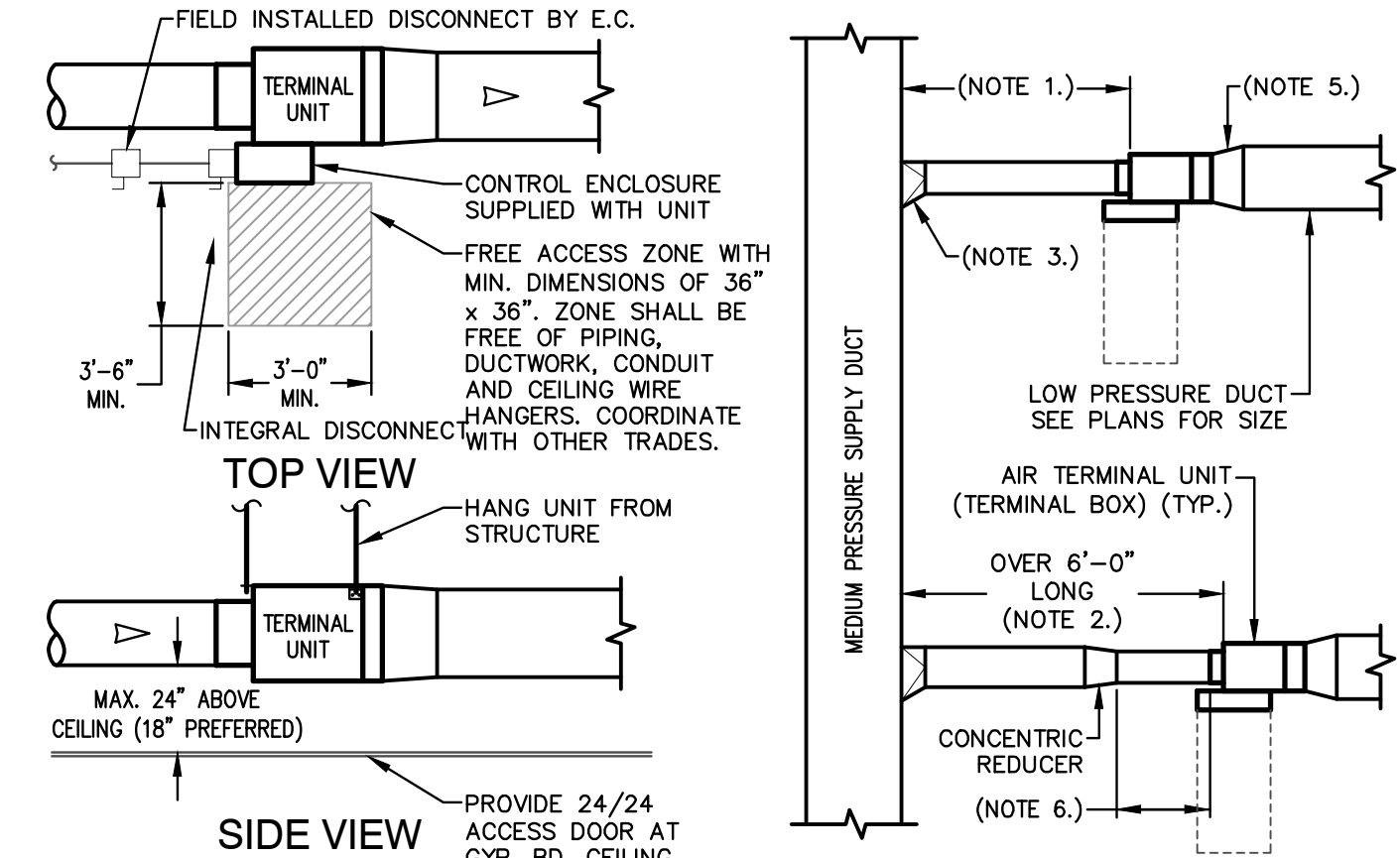


**9** Return Air Grille Detail  
M401.1 SCALE: NONE



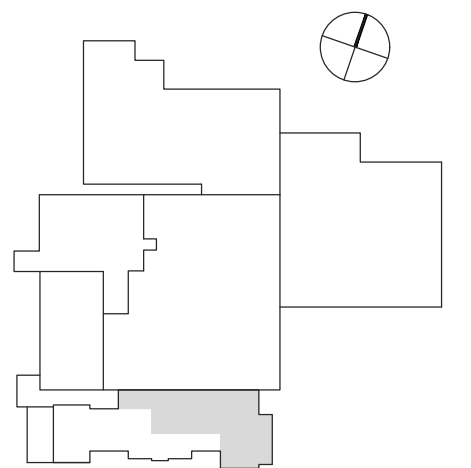
- NOTES:**
1. PROVIDE COMPLETE PRESSURE INDEPENDENT CONTROLS PACKAGE
  2. PROVIDE NEC REQUIRED 3"-0" ACCESS CLEARANCE IN FRONT OF CONTROL PANEL. COORDINATE HAND CONFIGURATION OF CONTROL PANEL WITH ALL OTHER TRADES PRIOR TO PROCUREMENT.
  3. CONTROL PANEL AND HOT WATER PIPING ACCESSORIES SHALL BE ACCESSIBLE WITHIN 24" OF CEILING
  4. SEE COIL PIPING DETAIL AND VAV TERMINAL BOX SCHEDULE FOR ADDITIONAL REQUIREMENTS
  5. WHERE HEATING COILS ARE NOT FACTORY INSULATED, FIELD INSTALL INSULATION ON HEATING COIL

**8** Terminal Unit Installation  
M401.1 SCALE: NONE Hot Water Heating Coil



- NOTES:**
1. PROVIDE 3" DUCT DIAMETERS, MINIMUM 24" LONG, SECTION OF STRAIGHT SHEET METAL DUCT (MAXIMUM LENGTH OF 6') AT THE INLET OF EACH TERMINAL UNIT. SEE TERMINAL UNIT SCHEDULE FOR INLET DUCT SIZE.
  2. PROVIDE SHEET METAL DUCT OF ONE SIZE LARGER THAN VAV TERMINAL INLET FOR LENGTH OVER 6'-0"
  3. 45 DEGREE LEAD IN, CONICAL, OR 45 DEG. ROUND AT EACH CONNECTION TO MEDIUM PRESSURE DUCTWORK
  4. SEE PLANS FOR DISCHARGE DUCT SIZE
  5. PROVIDE TRANSITION FITTING FROM VAV BOX DISCHARGE TO FULL SIZE OF DISCHARGE DUCT SIZE INDICATED ON PLANS
  6. MINIMUM 3" DUCT DIAMETERS OF STRAIGHT DUCT SAME SIZE AS BOX INLET

**7** Terminal Unit Inlet & Discharge Ductwork  
M401.1 SCALE: NONE



Revisions	No.	Date	Description

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Project Number: 22-010.1  
Drawn: MSJ  
Checked: JDH  
Date: 2/2/2024  
Sheet Title  
**Electrical Demolition Plan Level 1 - Phase 4**  
Sheet Number

**E100.1**

FIRE ALARM SYMBOLS	
SYMBOL	DESCRIPTION
	SMOKE DETECTOR
	HEAT DETECTOR
	MANUAL PULL STATION
	VISUAL ONLY NOTIFICATION DEVICE (# INDICATES CANDELA)
	HORN AND STROBE NOTIFICATION DEVICE (# INDICATES CANDELA)
	FIRE ALARM CONTROL PANEL
	SMOKE DAMPER
	DUCT-MOUNTED SMOKE DETECTOR
	TAMPER SWITCH
	FLOW SWITCH
	LOW TEMP SENSOR

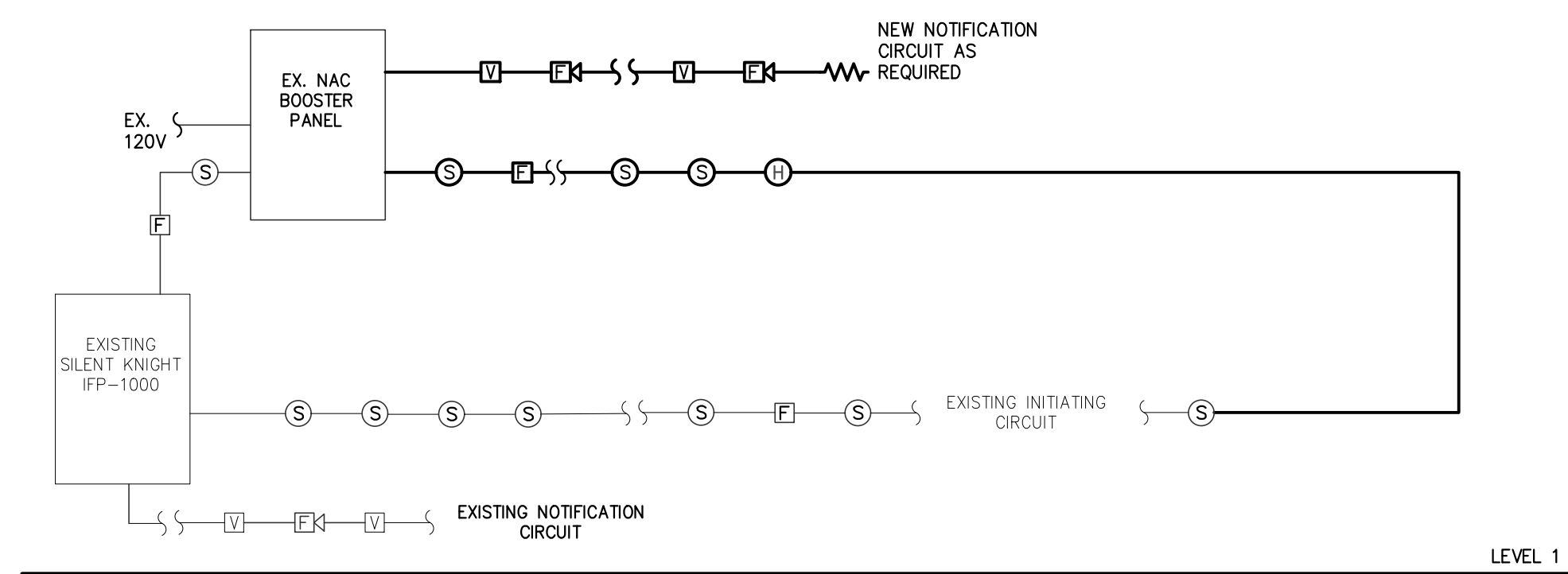
ELECTRICAL SYMBOLS	
SYMBOL	DESCRIPTION
	LAY-IN TROFFER (REFER TO SCHEDULE FOR TYPE)
	EMERGENCY LIGHT ON TRANSFER SWITCH (REFER TO DETAIL 1/E400)
	EXIT LIGHT (REFER TO SCHEDULE FOR TYPE)
	LIGHT CONTROL SWITCH (3 OR 4-WAY OR KEYED AS INDICATED)
	LIGHT CONTROL SWITCH WITH INTEGRAL TIMER, WATTSTOPPER TS-400, PROGRAM FOR AUDIBLE AND VISUAL WARNING.
	DIMMER SWITCH WITH INTEGRAL OCCUPANCY SENSOR
	NEW HOMERUN (EX. PANEL 'A', CIRCUIT 15)
	NEW UNSWITCHED LIGHTING CIRCUIT
	NEW POWER OR LIGHTING CIRCUIT
	DUPLEX RECEPTACLE, 'C' DENOTES CEILING MOUNTED.
	QUAD RECEPTACLE
	240VAC RECEPTACLE
	ELECTRIC WATER COOLER RECEPTACLE
	RECEPTACLE WITH INTEGRAL USB TYPE A AND TYPE C
	DUPLEX RECEPTACLE WITH (1) USB-C AND (1) USB-A WEATHER RESISTANT CHARGING PORT WITH A WEATHERPROOF WHILE-IN-USE COVER
	SPECIFIC NEMA PLUG - REFER TO PLANS FOR TYPE
	CAST IN PLACE ON-GRADE FLOOR BOX, RFB4-CI-NA OR EQUAL, ONE DUPLEX RECEPTACLE AND TWO DATA PORTS
	DISCONNECT SWITCH - REFER TO DISCONNECT SCHEDULE FOR DETAILS
	POWER PANEL - SEE PLANS AND SCHEDULES FOR DETAILS
	POWER SYSTEM JUNCTION BOX
	WIREMOLD SYSTEM - LEGRAND 4000 SERIES DIVIDED RACEWAY
	TELECOM OUTLET
	TELEPHONE OUTLET
	LOW VOLTAGE EXTENDED RANGE DUAL TECHNOLOGY OCCUPANCY SENSOR
	EMERGENCY LIGHTING TRANSFER DEVICE
	AV BOX AT LECTERN 6"X6". SEE DETAIL 5/E400.
	GROUND FAULT CIRCUIT INTERRUPTER
	DEVICE MOUNTED ABOVE COUNTER BACKSPACE
	DEVICE TO BE RELOCATED

**FIRE ALARM RENOVATION GENERAL NOTES:**

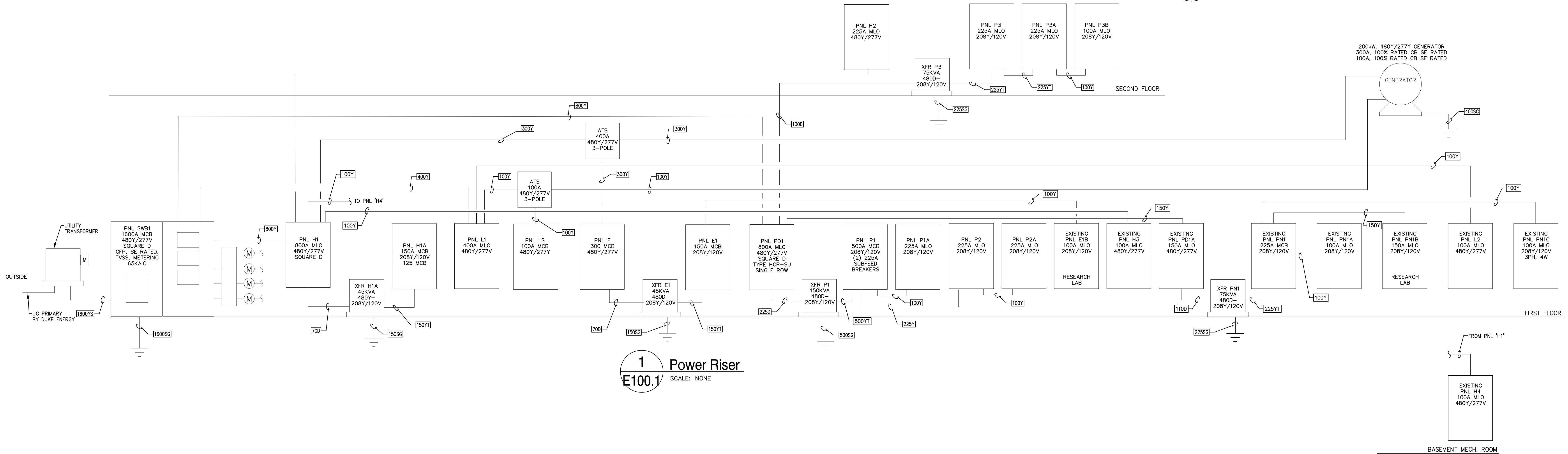
1. FIRE ALARM CONTRACTOR TO REVISE EXISTING ADDRESSABLE SILENT KNIGHT FIRE ALARM SYSTEM. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING RACEWAY, BOXES AND POWER TO ALL PERIPHERAL FIRE ALARM EQUIPMENT FOR A COMPLETE TURN KEY SYSTEM. REFER TO THE RENOVATION PLANS FOR QUANTITY AND LOCATION OF NEW DEVICES.
2. INSTALL NEW FIRE ALARM NOTIFICATION DEVICES. ADD BATTERIES OR BOOSTER PANEL(S) AS REQUIRED.
3. INSTALLATION OF ALL NEW FIRE ALARM DEVICES MUST COMPLY WITH NFPA 72 (2013) AND 2018 NC BUILDING CODE.
4. FIRE ALARM WIRING MAY BE RUN AS OPEN CABLE ABOVE LAY-IN CEILING. WIRING FROM FIRE ALARM DEVICES TO ABOVE CEILING SHALL BE RUN IN CONDUIT CONCEALED IN WALLS WITH WALL CONDUIT STUBBED OUT TO NEAREST ACCESSIBLE CEILING. CABLING SHALL BE PLENUM RATED. ALL CABLING WHERE EXPOSED OR ROUTED IN INACCESSIBLE SPACES SHALL BE IN CONDUIT.
5. FIRE ALARM CIRCUITS EXPOSED IN UNFINISHED MECHANICAL SPACES SHALL BE IN CONDUIT COMPLETE.
6. ALL WIRING CONNECTIONS TO BE AT PANELS, DEVICES OR TERMINAL CABINET. NO JOINTS OR "T"-TAPS ALLOWED.
7. FIRE ALARM CONTRACTOR TO VERIFY CAPACITY OF ANY MODIFIED EXISTING NOTIFICATION CIRCUITS AND ADD CIRCUITS AND/OR BATTERY POWER AS REQUIRED. PERFORM BATTERY AND VOLTAGE DROP CALCULATIONS AS PART OF VERIFICATION.
8. FIRE ALARM CONTRACTOR TO PROVIDE A COMPLETE SET OF SUBMITTALS AND SHOP DRAWINGS FOR THE ENGINEER'S APPROVAL PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL SHOW EQUIPMENT, MATERIAL LIST, DEVICE IDENTIFICATION NUMBERS AND LOCATIONS, WIRING DIAGRAM AND CALCULATIONS. WIRING DIAGRAMS SHALL BE BASED ON THE PROJECT FLOOR PLANS WITH DEVICES AND PROPOSED CONDUIT ROUTING.
9. PROVIDE UPDATED ZONE MAPS TO REFLECT SYSTEM MODIFICATIONS AND NEW ROOM NUMBERS AND IDENTIFICATION. CONFIRM FINAL ROOM NAMING SCHEME PRIOR TO PROGRAMMING AND ZONE MAP PREP.
10. MAINTAIN A MINIMUM OF 3' DISTANCE FROM ALL HVAC SUPPLY AND RETURN GRILLES WHEN INSTALLING NEW SMOKE DETECTORS. FIELD COORDINATE WITH MECHANICAL CONTRACTOR AND AS BUILT CONDITIONS.
11. ALL NOTIFICATION DEVICES WITH A STROBE COMPONENT MUST BE SYNCHRONIZED THROUGHOUT RENOVATION/ADDITION AREA.
12. ONCE POINTS ARE PROGRAMMED IN THE FIRE ALARM CONTROL PANEL, THESE POINTS ARE TO ALSO BE PROGRAMMED BY THE FIRE ALARM CONTRACTOR IN THE MICROKEY APPLICATION THAT INTERFACES WITH SUR-GARD SYSTEM 1 CENTRAL STATION RECEIVER AT THE ELON SECURITY OFFICE.

FIRE ALARM MATRIX  
ELON FRANCIS

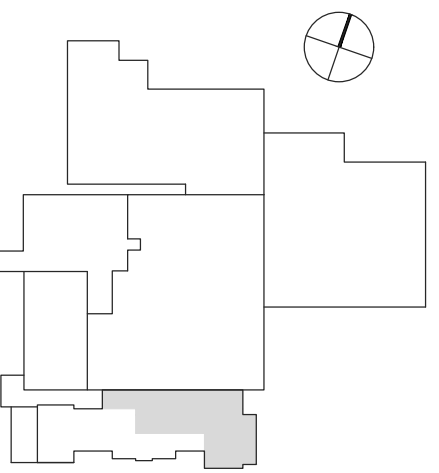
	FIRE ALARM SYSTEM OUTPUTS																														
	CONTROL UNIT ANNUNCIATION			NOTIFICATION							FIRE SAFETY CONTROL								SUPPLEMENTARY												
FIRE ALARM SYSTEM INPUTS	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	AA	BB	CC	DD	EE
1 BUILDING MANUAL PULL STATIONS																															
2 DUCT SMOKE DETECTORS																															
3 SMOKE / HEAT DETECTORS																															
4 SPRINKLER SYSTEM TAMPER SWITCH																															
5 SPRINKLER SYSTEM FLOW SWITCH																															
6 SPRINKLER SYSTEM HOT BOX LOW TEMP SENSOR																															
7 ELEVATOR LOBBY SMOKE DETECTOR PRIMARY RECALL LEVEL																															
8 ELEVATOR LOBBY SMOKE DETECTOR OTHER FLOORS																															
9 SMOKE DETECTOR ELEVATOR SHAFT/MACHINE SPACE																															
10 HEAT DETECTOR ELEVATOR SHAFT/MACHINE SPACE																															
11 SHUNT TRIP CONTROL CIRCUIT LOSS OF POWER																															



2 Fire Alarm Riser  
E100.1 SCALE: NONE Partial



P:\PROJECTS\2022-02-04 ELON FRANCIS CENTER RENOVATION PHASE 3\1.0 CAD\1.30 ELECTRICAL\100.LDW PLOTTED: 2/2/2024 4:14 PM BY: MALES SMITH



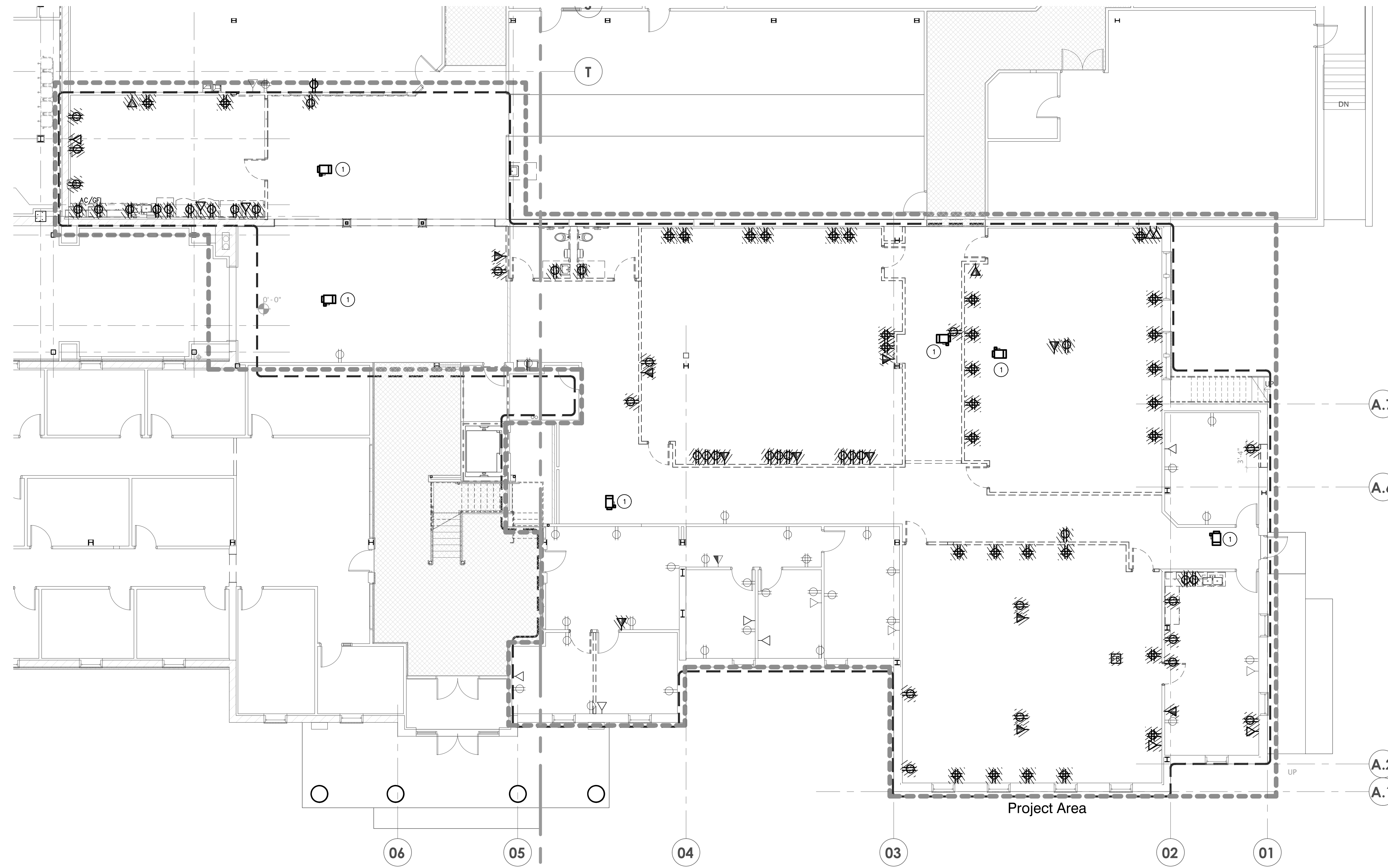
Revisions	No.	Date	Description

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Original drawings: 35" x 42". Do not scale contents of this drawing.  
Project Number: 22-010.1  
Drawn: MSS  
Checked: JDH  
Date: 2/2/2024

Sheet Title  
**Electrical Demolition  
Plan Level 1 - Phase 4**

Sheet Number

**E101.1**



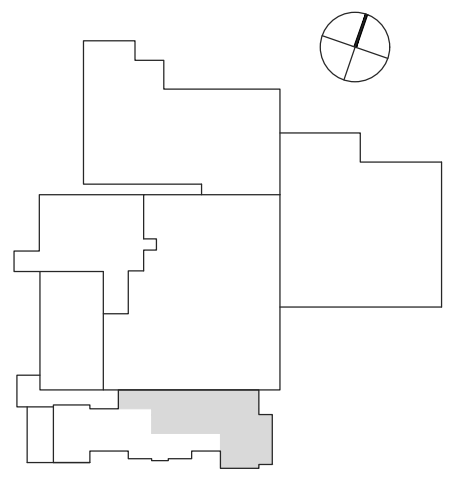
**GENERAL ELECTRICAL DEMOLITION NOTES:**

- BEFORE DEMOLITION OF ANY EQUIPMENT THAT SERVES AREAS OUTSIDE OF THIS SPACE, OR CONDUIT / CABLING PASSING THROUGH THE SPACE, THE CONTRACTOR SHALL VERIFY THE CONTINUED NEED OF THIS EQUIPMENT, CIRCUITS, OR CABLING WITH OWNER.

**1**  
**E101.1** **Power Demolition Plan - Level 1**  
SCALE: 1/8" = 1'-0"  
**PHASE 4**

**KEYNOTES:**

- DEMOLISH EXISTING CIRCUIT FOR TERMINAL BOX COMPLETE. MAINTAIN POWER TO ALL EXISTING TERMINAL BOXES NOT REMOVED IN DEMOLITION. SEE RENOVATION PLAN FOR NEW TERMINAL BOX LOCATIONS.



Revisions		
No.	Date	Description

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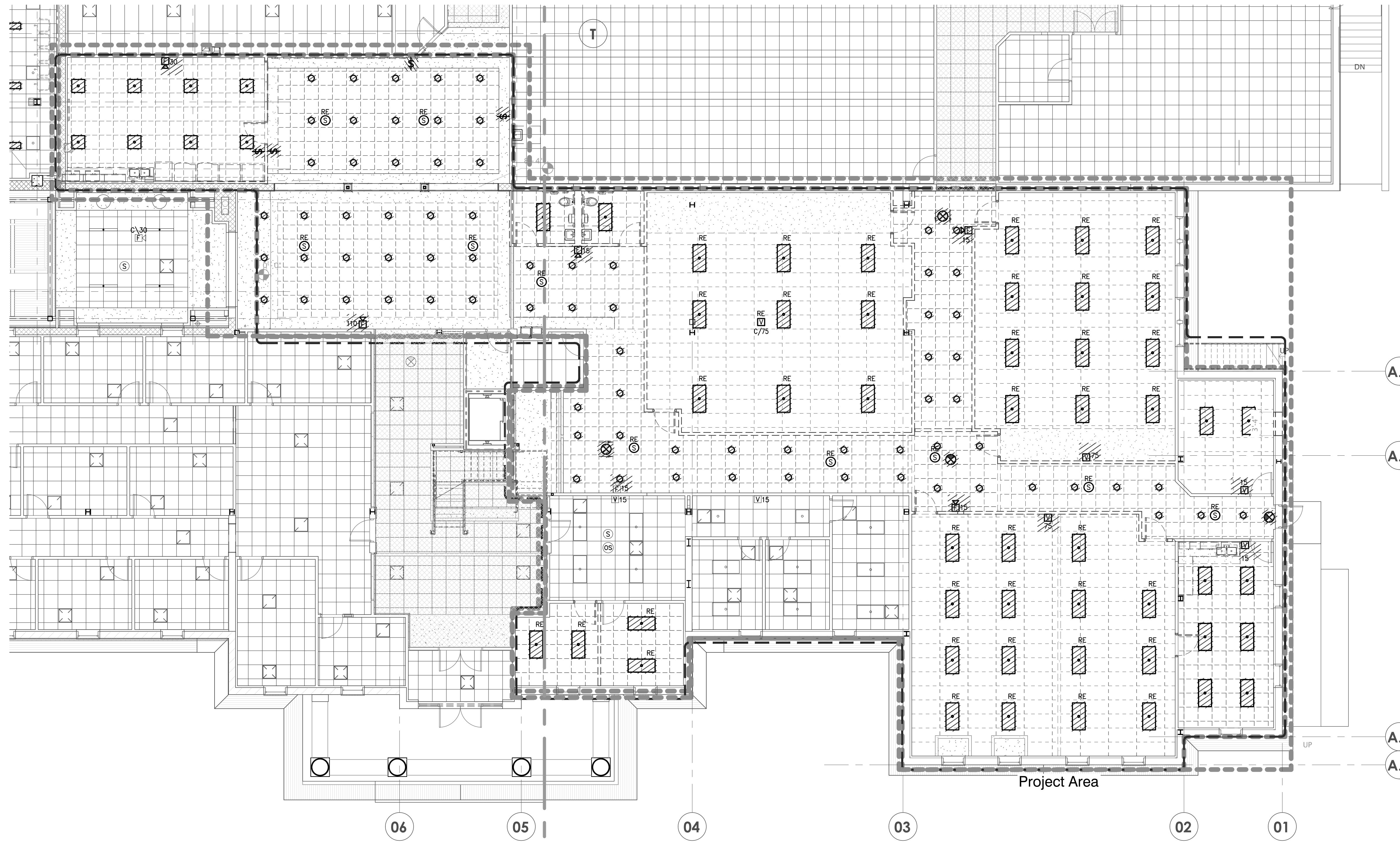
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**Electrical Demolition  
Plan Level 1 - Phase 4**

Sheet Number

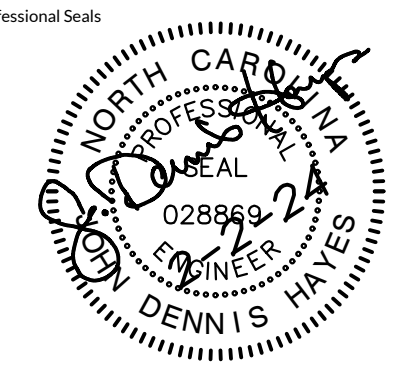
**E102.1**

**GENERAL ELECTRICAL DEMOLITION NOTES:**

1. WALL-MOUNTED FIRE ALARM DEVICES SHOWN TO BE RELOCATED (TAGGED 'RE') SHALL BE TURNED OVER TO OWNER FOR USE AS SPARE PARTS. CEILING MOUNTED FIRE ALARM DEVICES SHOWN TO BE RELOCATED SHALL BE USED IN THE RENOVATION AREA.
2. ALL RECENTLY INSTALLED 2x4 LED FIXTURES SHOWN TO BE RELOCATED (TAGGED 'RE') SHALL BE REINSTALLED IN THE RENOVATED PROJECT AREA.

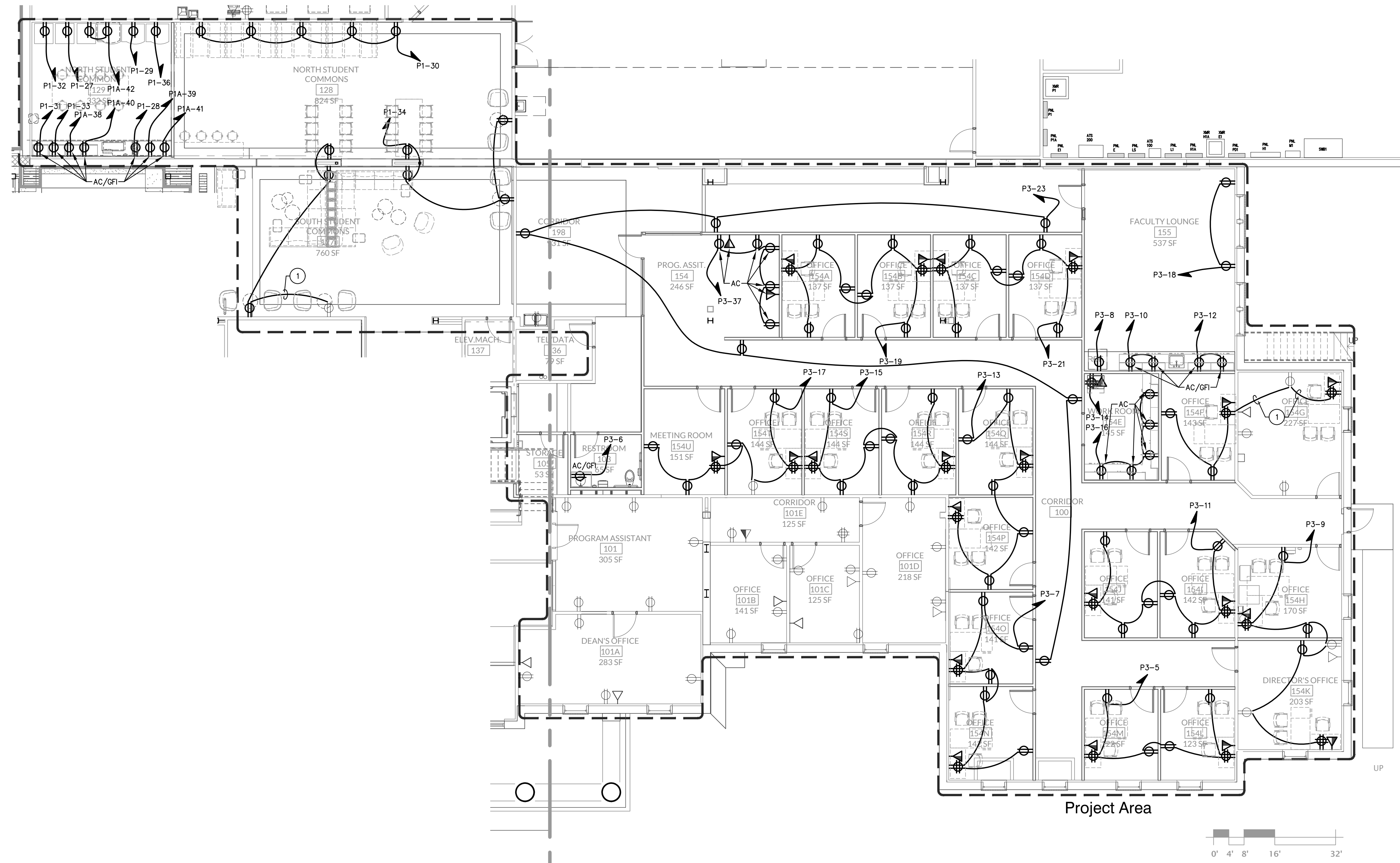
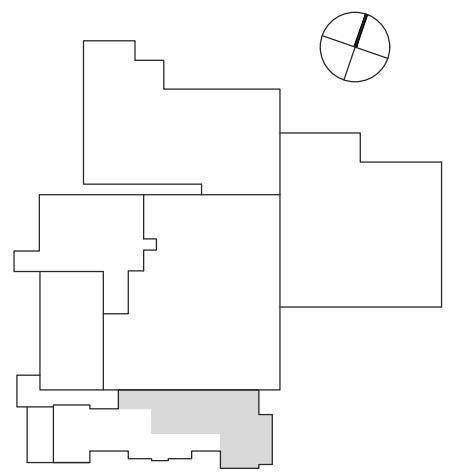


**2** Lighting Demolition Plan - Level 1  
**E102.1** SCALE: 1/8" = 1'-0"  
PHASE 4



**Francis Center  
Health Sciences  
Renovation -  
Phase 4**

762 East Haggard Ave., Elon, NC  
Key Plan



**KEYNOTES:**  
① EXTEND AND REWORK EXISTING ROOM RECEPTACLE CIRCUIT TO ADD NEW RECEPTACLES AS SHOWN. TRACE CIRCUIT AND IDENTIFY ON DEVICE COVER PLATES.

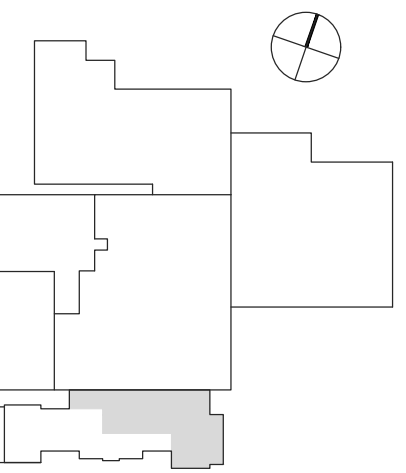
**1** Power Renovation Plan - Level 1  
**E201.1** SCALE: 1/8" = 1'-0" PHASE 4

Revisions	No.	Date	Description

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Project Number: 22-010.1  
Drawn: MSS  
Checked: LDH  
Date: 2/2/2024  
Sheet Title  
**Electrical Renovation Plan  
Level 1 - Phase 4**

Sheet Number  
**E201.1**

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Original drawings: 35" x 42". Do not scale contents of this drawing.  
Project Number: 22-010.1  
Drawn: MSS  
Checked: LDH  
Date: 2/2/2024

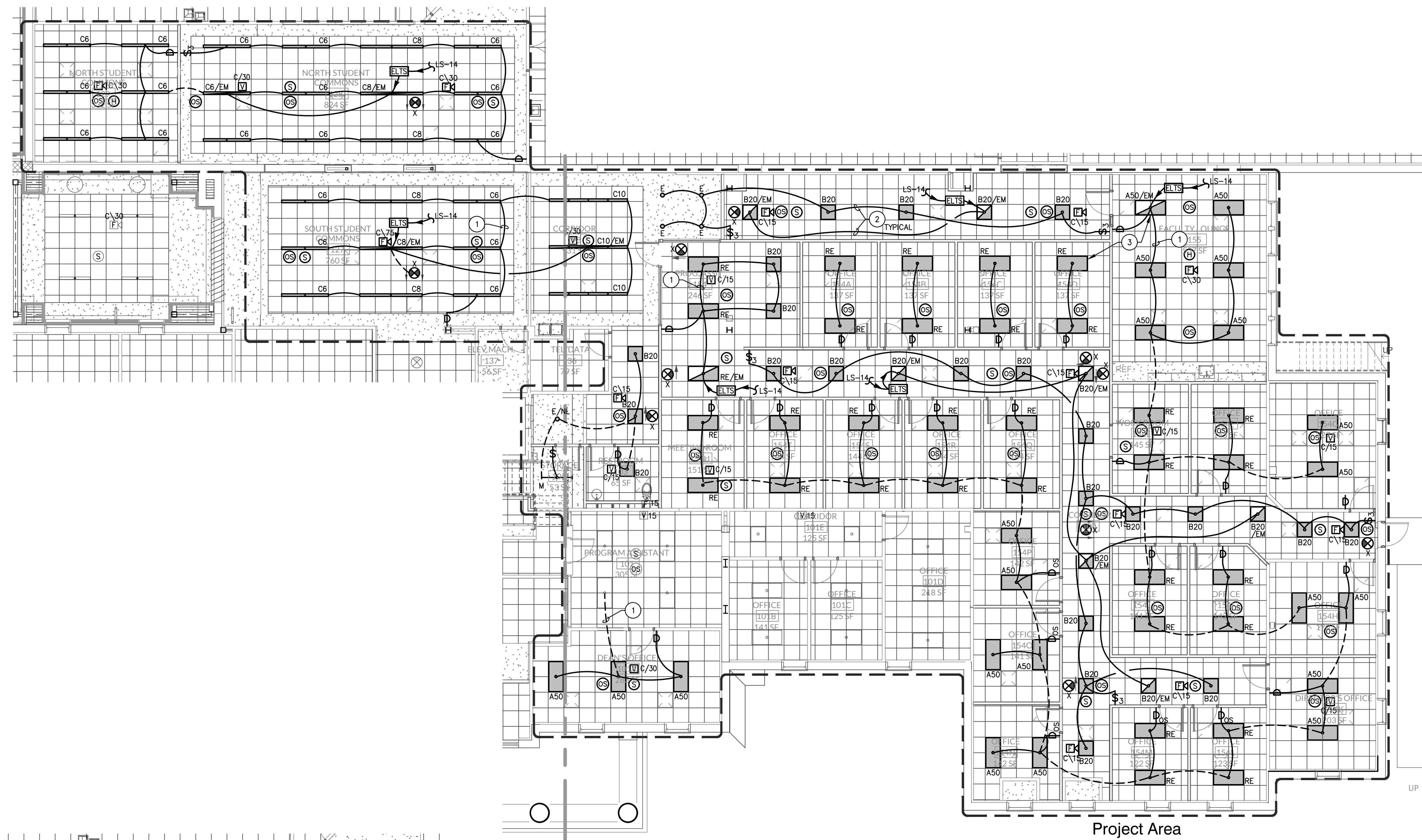
SHEET TITLE  
**Electrical Renovation Plan  
Level 1 - Phase 4**

SHEET NUMBER  
**E202.1**

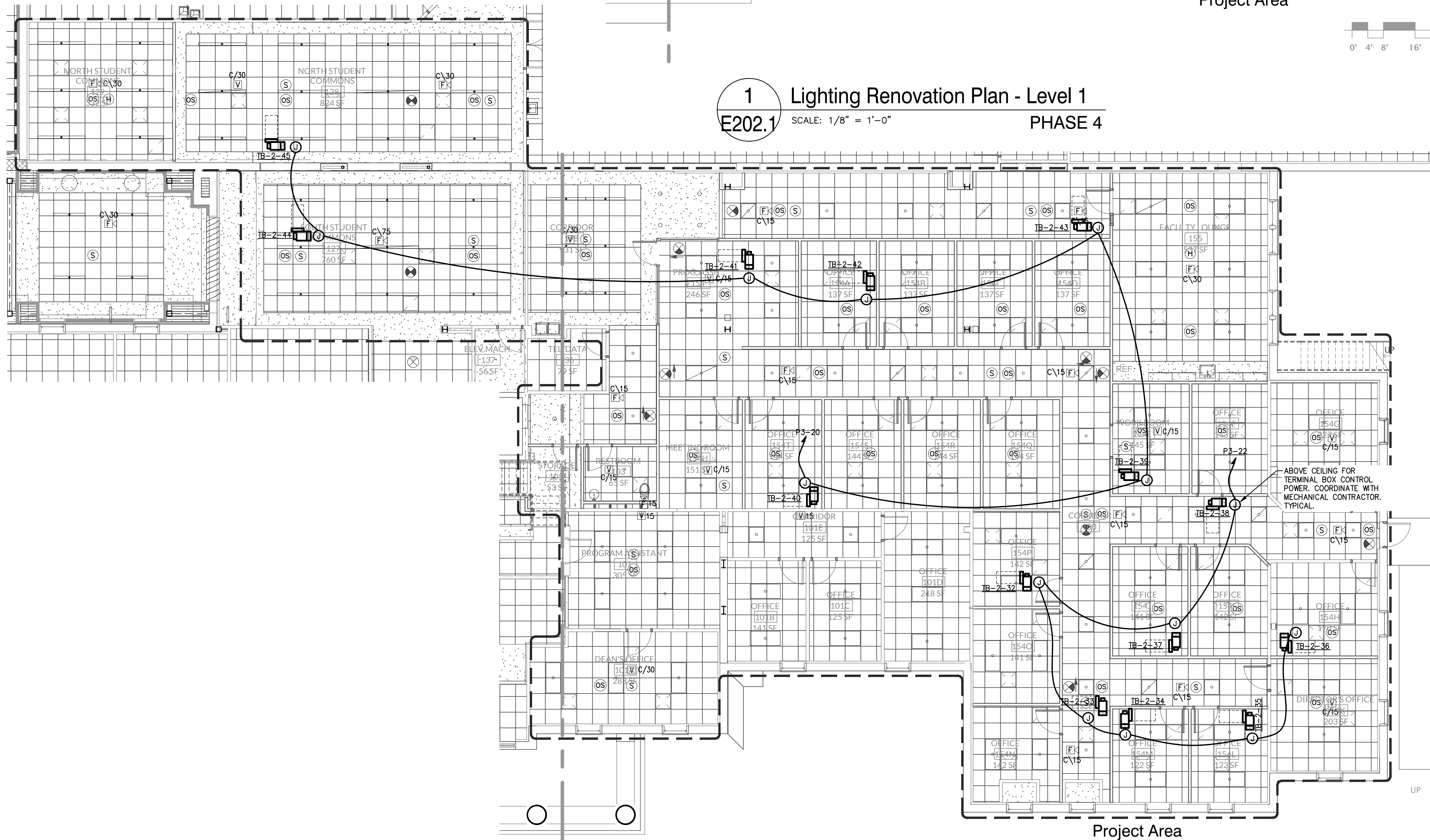
LIGHT FIXTURE SCHEDULE							
TYPE	PRODUCT IMAGE	MANUFACTURER	MODEL NUMBER	LAMPING	VOLTAGE	VA	FIXTURE DESCRIPTION
A50		LSI LITHONIA HUBBELL OR EQUIVALENT	LPEC24-LED-48L-UNV-DIM1-35	LED, 3500K 4800 LUMENS	120-277V	36W	2'x4' RECESSED CENTER BASKET TROFFER WITH 1% 0-10V DIMMING.
B20 B20/G		LSI LITHONIA HUBBELL OR EQUIVALENT	LPEC22-LED-20L-UNV-DIM1-35 LPEC22-LED-20L-UNV-DIM1-35-FX22	LED, 3500K 2000 LUMENS	120-277V	21W	2'x2' RECESSED CENTER BASKET TROFFER WITH 1% 0-10V DIMMING. 1/2" DENOTES FLANGE KIT OPTION FOR MOUNTING IN GYPSUM CEILING.
B25	SEE TYPE 'B20'	LSI LITHONIA HUBBELL OR EQUIVALENT	LPEC22-LED-25L-UNV-DIM1-35	LED, 3500K 2500 LUMENS	120-277V	21W	2'x2' RECESSED CENTER BASKET TROFFER WITH 1% 0-10V DIMMING.
C6 C8 C10 C12		FINELITE METALUMEN OR EQUIVALENT	HP-2-R-D-LENGTH-H-835-F-98LG-277-SC-F10X	LED, 3500K	277V	6.8W/FT	GRID-RECESSED 2" APERTURE LINEAR LED FIXTURE, WHITE FINISH.
E		SPECTRUM LSI HUBBELL OR EQUIVALENT	RF01EX-20L-35K-E-2-BH27 TRM: SG-SOX	LED, 3500K 2000 LUMENS	277V	24W	6" DIAMETER CAN LIGHT.
F	SEE TYPE 'E'	SPECTRUM LSI HUBBELL OR EQUIVALENT	RF04XT-10L-35K-E-2-BH27 TRM: SG-SOX	LED, 3500K 1000 LUMENS	277V	11W	4" DIAMETER CORRIDOR CAN LIGHT ABOVE SEATING AREA.
M		LITHONIA LSI HUBBELL OR EQUIVALENT	LCL4-35-ML-E-U	LED, 3500K 5400 LUMENS	120-277V	42W	4" INDUSTRIAL LED STRIP LIGHT. PROVIDE WITH NECESSARY MOUNTING ACCESSORIES.
P		PRIMUS OR APPROVED EQUAL	AXL7-M-35K-DO-UN-V-W-2	LED, 3500K 90 CM 920 LUMENS/FT	120-277V	8W/FT	UNDERCABINET LIGHTING, 2" NOMINAL LENGTH.
WP		ATLAS	WSPSL-60LED-4K	LED, 4000K 6500 LUMENS	120-277V	60W	LED MET LOCATION RATED WALL PACK.
X		LITHONIA LSI HUBBELL OR EQUIVALENT	LBC-R-2F-WH-SD2	LED	120-277V	5W	RED LED EXIT LIGHT, UNIVERSAL MOUNTING, CIRCUIT TO UNSWITCHED SIDE OF AREA LIGHTING CIRCUIT, AC ONLY.

**NOTES:**  
1. '/EM' INDICATES FIXTURE IS FED FROM GENERATOR LIFE SAFETY CIRCUIT.

**KEYNOTES:**  
1. CONNECT TO EXISTING AREA LIGHTING CIRCUIT.  
2. SEE DETAIL 1/E400.1 FOR CORRIDOR LIGHTING CONTROL WIRING.  
3. OFFICE 2'x4' LED FIXTURES TO BE REVISED FROM DEMO PROJECT AREA. TYPICAL ALL FIXTURES LABELED 'RE'.

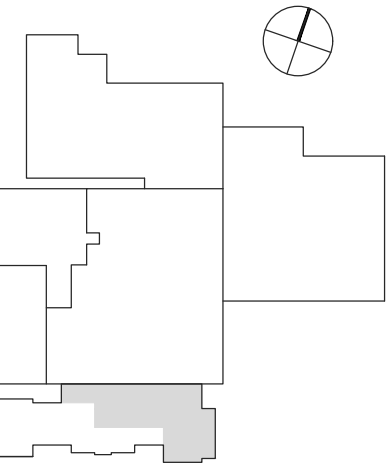
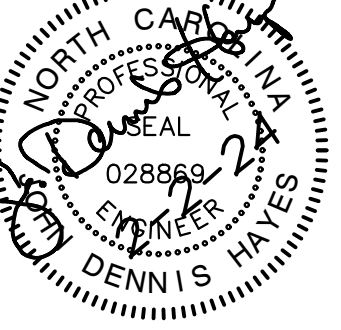


**1** Lighting Renovation Plan - Level 1  
**E202.1** SCALE: 1/8" = 1'-0"  
PHASE 4

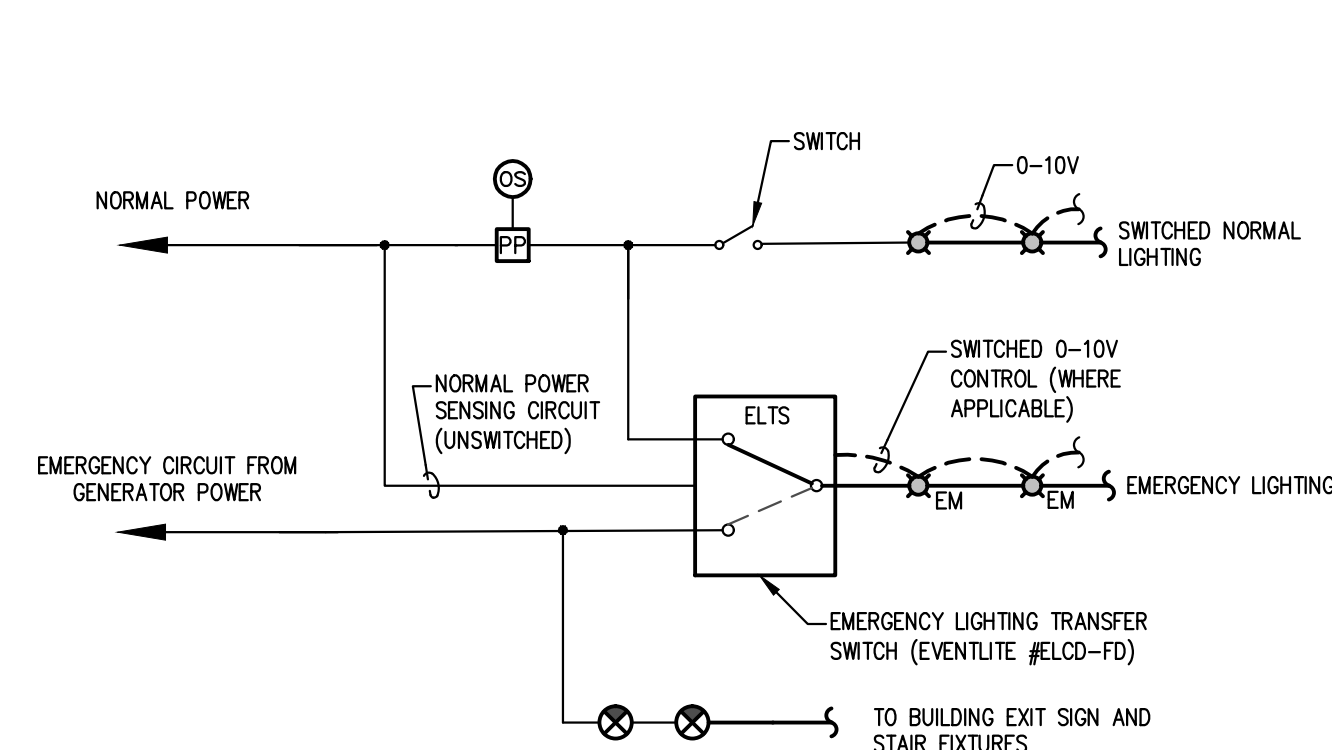


**2** Mechanical Power Plan - Level 1  
**E202.1** SCALE: 1/8" = 1'-0"  
PHASE 4



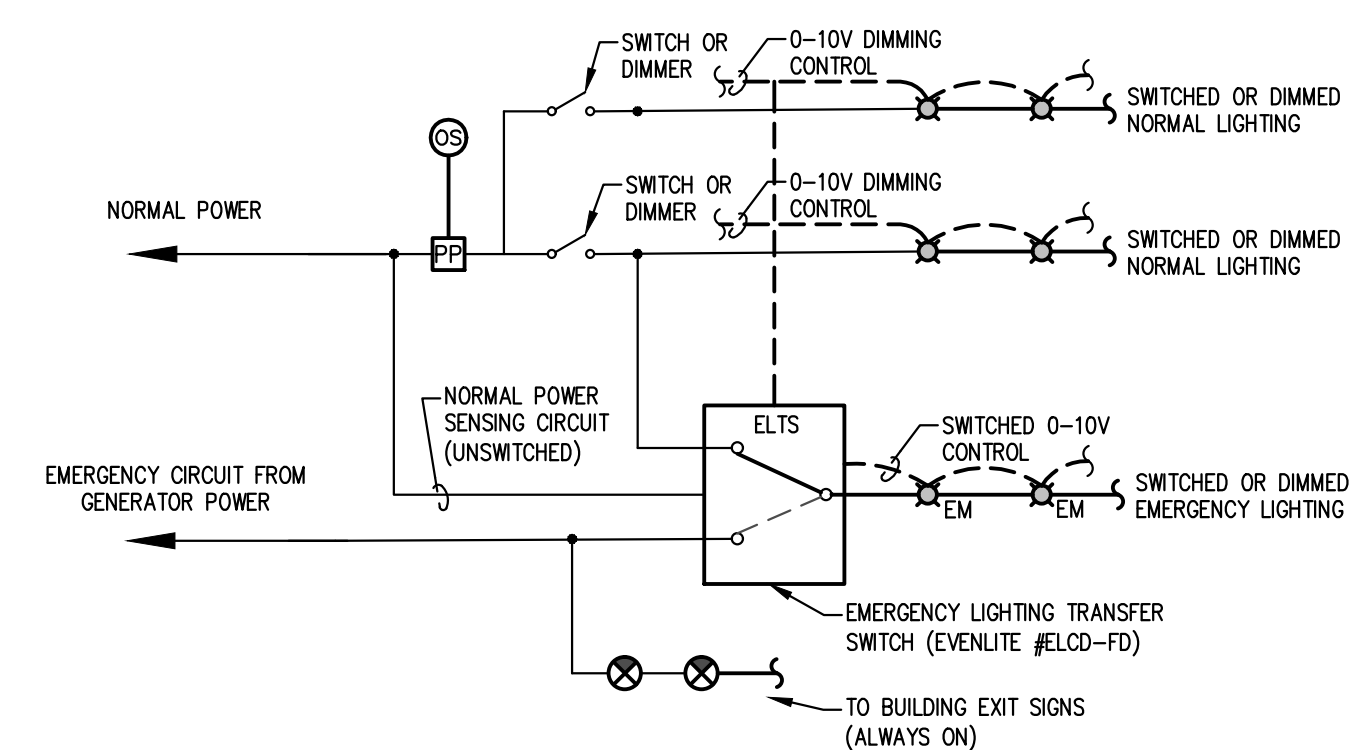


Revisions	No.	Date	Description



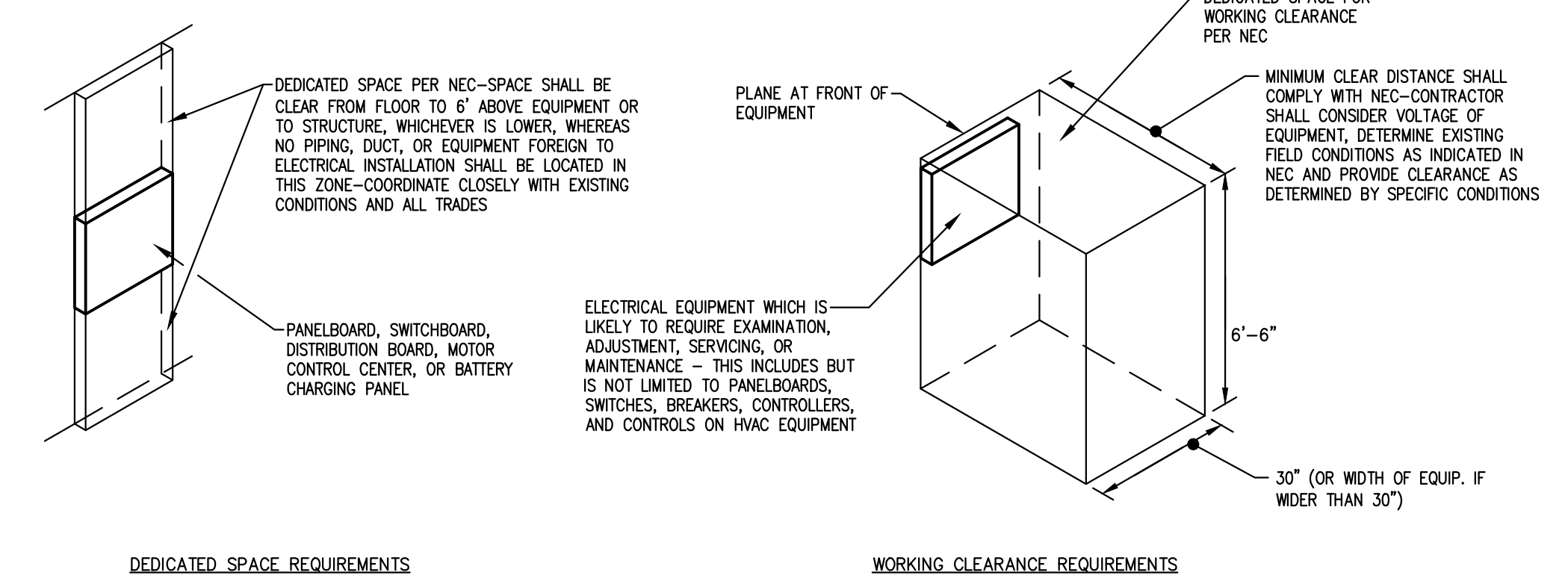
**1**  
**E400.1** Corridor Lighting Control Schematic  
SCALE: Not To Scale

- NOTES:**
1. THIS DETAIL REPRESENTS A TYPICAL INSTALLATION. SEE PLANS FOR EXACT EQUIPMENT SIZES AND LOCATIONS.
  2. ALTERNATING FIXTURES TO BE WIRED TO EMERGENCY LIGHTING TRANSFER DEVICE TO BY-PASS SWITCHING / OCCUPANCY CONTROLS AND GO FULL ON FROM EMERGENCY BRANCH.
  3. OTHER FIXTURES ARE SWITCHED AS SHOWN.
  4. EXIT SIGNS WIRED DIRECTLY TO UNSWITCHED EMERGENCY CIRCUIT.

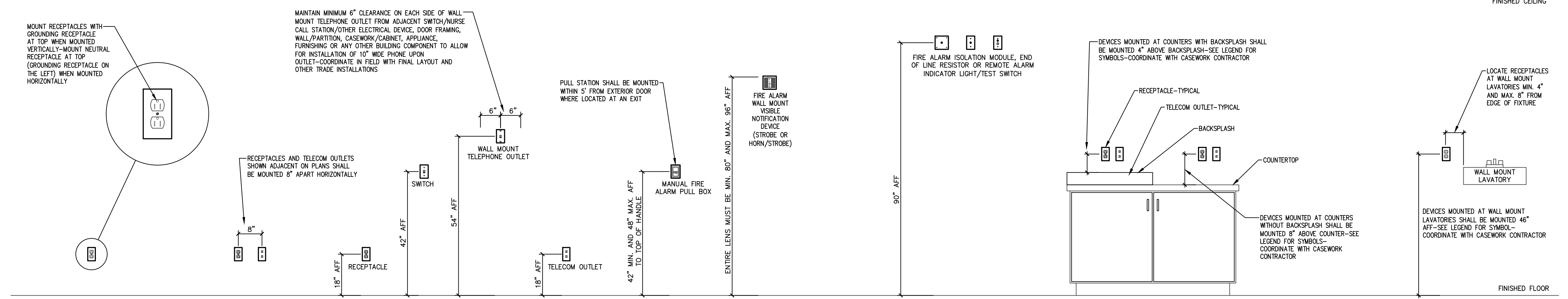


**2**  
**E400.1** Emergency Lighting Control Schematic  
SCALE: Not To Scale

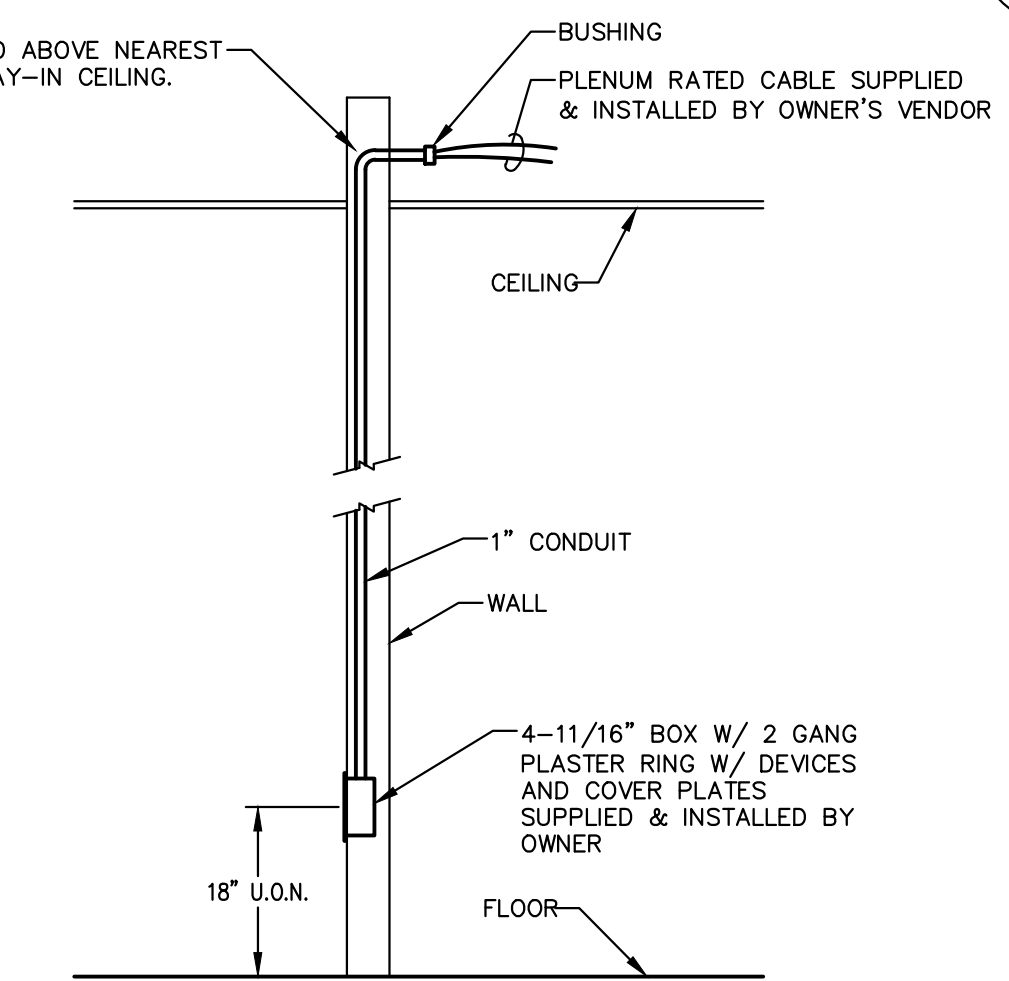
- NOTES:**
1. THIS DETAIL REPRESENTS A TYPICAL CLASSROOM / LAB INSTALLATION. SEE PLANS FOR EXACT EQUIPMENT SIZES AND LOCATIONS.



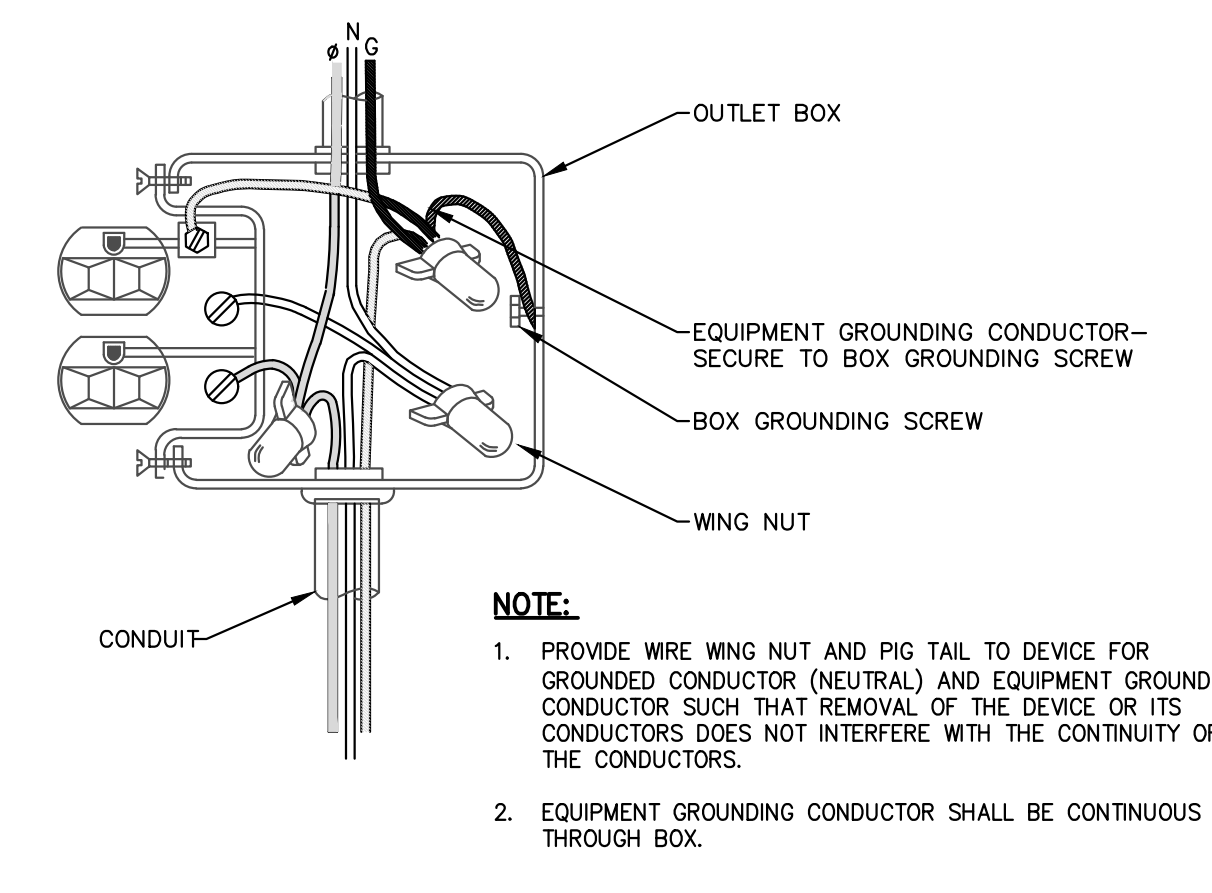
**3**  
**E400.1** Electrical Equipment Dedicated Space & Working Clearance  
SCALE: NONE



**4**  
**E400.1** Mounting Heights & Configurations  
SCALE: NONE



**5**  
**E400.1** Typical Data/Communications Outlet Installation  
SCALE: NONE



**6**  
**E400.1** Receptacle Wiring Detail  
SCALE: NONE