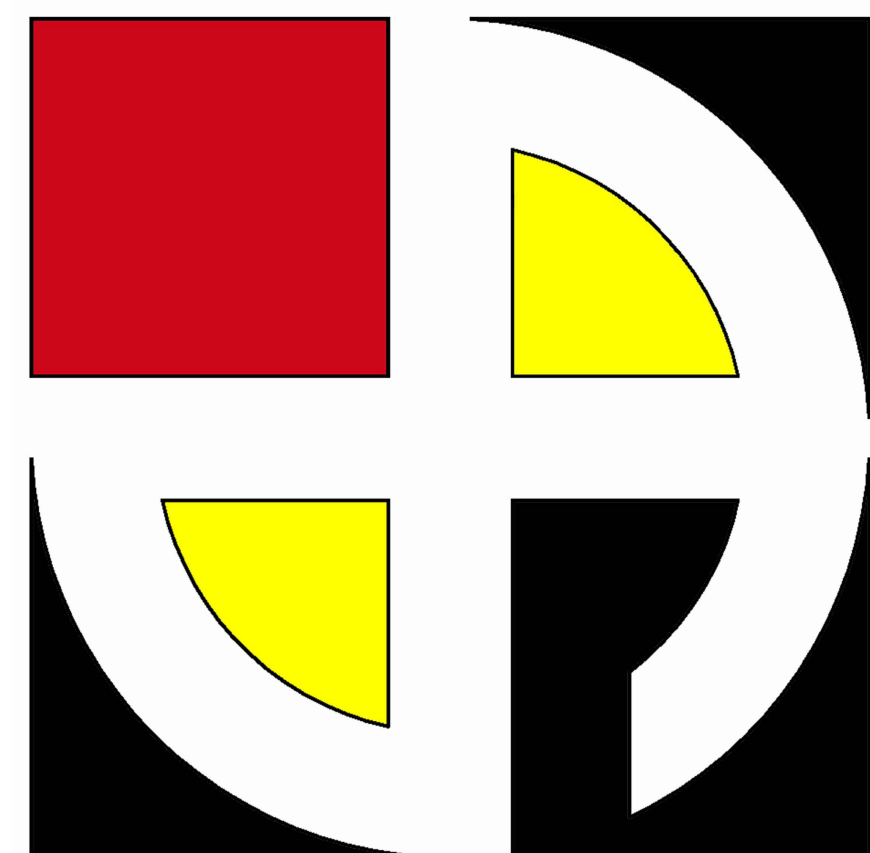


# STORE SPACE

**937 E. HAGARD AVE. ELON, NC**



## **D·E·A·N ARCHITECTS**

3284 WALDEN AVENUE DEPEW, NEW YORK 14043  
PHONE: (716) 651-0381  
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## CONTRACTOR NOTES

- IN USING THESE PLANS FOR BIDDING OR CONSTRUCTION PURPOSES, ALL CONTRACTORS ARE REQUIRED TO REVIEW AND TREAT THEM AS A WHOLE IN ORDER TO IDENTIFY ALL REQUIREMENTS THAT DIRECTLY OR INDIRECTLY AFFECT THEIR PORTION OF THE WORK. EVEN REQUIREMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES TO IN DOCUMENTS LOCATED IN SECTIONS DESIGNATED AS APPLICABLE TO OTHER TRADES OR IN DOCUMENTS PROVIDED BY OTHER MEMBERS OF THE PROJECT DESIGN TEAM. UNLESS EXPRESSLY PROVIDED OTHERWISE, THE INTENT IS TO INCLUDE ALL LABOR, MATERIALS, PRODUCTS AND SERVICES NECESSARY OR APPROPRIATE FOR THE COMPLETED PROJECT AS CALLED FOR OR REASONABLY IMPLIED FROM THE PLANS AND SPECIFICATIONS PROVIDED BY THE PROJECT'S DESIGN TEAM. IN CASE OF CONFLICTS OR OMISSIONS, THE AFFECTED CONTRACTOR IS REQUIRED TO EITHER OBTAIN DIRECTION FROM AN APPROPRIATE REPRESENTATIVE OF THE OWNER, OR OTHERWISE TO APPLY THE MORE STRINGENT OR COSTLY STANDARD. ALL SUBSTITUTIONS MUST BE APPROVED PRIOR TO BID.
- THESE PLANS AND SPECIFICATIONS ARE INTENDED TO REPRESENT ONLY THE FINISHED CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES INCLUDING ANY AND ALL SAFETY PRECAUTIONS AND PROGRAMS AND SHALL INDEMNIFY TO THE FULLEST EXTENT ALLOWED BY LAW THE OWNER AND THE PROJECT DESIGN TEAM FROM AND AGAINST ANY AND ALL RELATED CLAIMS AND LIABILITY.
- THESE PLANS AND SPECIFICATIONS ARE INTENDED TO SET FORTH THE REQUIREMENTS FOR CONSTRUCTION IN ONLY AN INDUSTRY-STANDARD LEVEL OF QUALITY AND DETAIL, AND THEY ARE INTENDED TO BE SUPPLEMENTED BY APPROPRIATE REQUESTS FOR INFORMATION (RFI'S), ERRORS AND OMISSIONS ARE TO BE EXPECTED AND ANTICIPATED, AND ALL CONTRACTORS ARE REQUIRED TO CAREFULLY REVIEW THESE PLANS FOR ERRORS AND OMISSIONS AND TO BEING THERE ERRORS AND OMISSIONS TO THE ATTENTION OF AN APPROPRIATE OWNER REPRESENTATIVE IN A TIMELY MANNER; AND ANY CONTRACTOR WHO FAILS TO DO SO BEFORE BIDDING OR OTHERWISE PROCEEDING ASSUMES THE RISK OF ANY CONSEQUENCES.
- PLANS ARE TO BE CONSIDERED DIAGRAMMATIC IN NATURE AND INTENDED ONLY TO DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS AND NOT TO DEPICT SPECIFIC LOCATIONS.
- CONTRACTOR RFI'S ARE INTENDED TO OBTAIN INFORMATION NOT AVAILABLE FROM THE PLANS AND SPECIFICATIONS. RFI'S WILL NOT BE PROCESSED THAT CAN BE ANSWERED BY REVIEW OF THESE DOCUMENTS, THAT REQUEST DIMENSIONS THAT CAN BE OBTAINED FROM THE PLANS BY MATHEMATICAL CALCULATION THAT ARE IN EFFECT A SUBSTATION SUBMITTAL, OR THAT SEEK DIRECTION CONCERNING CONSTRUCTION MEANS AND METHODS OR SAFETY PRECAUTIONS. WHERE APPROPRIATE, RFI'S SHOULD BE SPECIFIC AS TO WHAT PORTION OF THE PLANS AND SPECIFICATIONS NEEDS CLARIFICATION, AND WHAT INFORMATION IS REQUIRED.
- NO DEVIATIONS OR OMISSIONS FROM THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS PROVIDED BY THE PROJECT'S DESIGN TEAM ARE ALLOWED WITHOUT THE EXPRESSED AUTHORIZATION OF AN APPROPRIATE OWNER REPRESENTATIVE. AND THE RESPONSIBLE CONTRACTOR WILL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE PROJECT DESIGN TEAM FROM AND AGAINST THE CONSEQUENCES OF ANY UNAUTHORIZED DEVIATIONS OF OMISSIONS. SUBSTITUTION SUBMITTALS WILL BE CONSIDERED ONLY IF THE PROPOSED SUBSTITUTION IMPROVES THE QUALITY OF THE PROJECT TO THE OWNER; AND IN NO EVENT WILL THE OWNER BE REQUIRED TO AUTHORIZE A SUBSTITUTION THAT IS NOT EQUAL IN QUALITY TO WHAT IS SPECIFIED.
- VERSIONS OF THESE PLANS PROVIDED IN ANY ELECTRONIC FORM ARE SUBJECT TO THE SAME PROVISION AS THE OTHER INSTRUMENTS OF SERVICE PREPARED BY OR ON BEHALF OF THE PROJECT DESIGN TEAM, INCLUDING WITHOUT LIMITATION THEIR COMMON LAW, STATUTORY OR OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. A RECIPIENT IS GRANTED AT MOST A TRANSFERABLE NONEXCLUSIVE LICENSE TO REUSE THE PLANS SOLELY FOR PROJECT PURPOSES; AND NO RECIPIENT IS AUTHORIZED TO USE THE OR ALLOW THE USE OF ALL OR ANY PORTION OF THESE PLANS FOR ANY OTHER PURPOSE, AND ANY OTHER USE FOR ANY OTHER PURPOSE COULD CONSTITUTE ACTIONABLE PLAGIARISM. ANY ELECTRONIC DOCUMENTS WILL BE PROVIDED IN THE RESPONSIBLE DESIGN PROFESSIONAL'S STANDARD FORMATS AND CONVENTIONS AND WITH NO GUARANTEE OF THE ABSENCE OF VIRUSES OR OTHER HARMFUL MATERIAL, OR OF COMPATIBILITY WITH ANY RECIPIENT'S SOFTWARE OR HARDWARE SO THAT ANY USE WITH OR CONVERSIONS TO THE OTHER FORMS OR CONVENTIONS, OR THE USE WITH ANY PARTICULAR SOFTWARE OR HARDWARE IS AT THE RECIPIENT'S SOLE RISK.
- NO HAZARDOUS MATERIALS SHALL BE USED OR STORED WITHIN THE BUILDING WHICH DOES NOT COMPLY WITH THE LOCAL FIRE AUTHORITY AND STATE AND COUNTY REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR BLOCKING OFF SUPPLY AND RETURN AIR GRILLES, DIFFUSERS, & DUCTS TO KEEP DUST FROM ENTERING INTO BUILDING AIR DISTRIBUTION SYSTEMS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE BUILDING AND SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.
- THE CONTRACTOR AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUND AREA FREE FROM DUST AND DEBRIS. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
- THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION, WHERE REQUIRED PER STATE AND LOCAL CODES.

### DRAWING NOTES

- UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE TO FACE OF CURB, FACE OF CONCRETE OR MASONRY, FACE OF FINISH OR CENTERLINE OF GRIDS.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB, U.O.N.
- DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. LARGE SCALE DRAWINGS AND DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- THE TERM "ALIGN" IN THESE DOCUMENTS, SHALL MEAN TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE.
- "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OF REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT U.O.N.
- DETAILS ARE USUALLY KEVD AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF ALL SIMILAR CONDITIONS THROUGHOUT U.O.N.
- COLUMN CENTERLINES (GRID LINES) ARE SHOWN FOR DIMENSIONING PURPOSES.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK IN THE SAME BUILDING.

### INTERIOR/EXTERIOR NOTES

- WHERE ELECTRICAL, MECHANICAL AND/OR PLUMBING ITEMS, SUCH AS LIGHTS, DUCTS, PIPING, DOWNSPOUTS, ETC. ARE TO PENETRATE ANY BUILDING FOOTINGS, SLABS, FLOORS, STRUCTURAL FRAMING, WALL PARTITIONS, CEILING, ETC., IT IS REQUIRED THAT AN APPROPRIATELY SIZED OPENING OR CLEARANCE BE FURNISHED. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL ITEMS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO THE INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR, ALONG WITH MECHANICAL CONTRACTOR, SHALL PROVIDE AND LOCATE ACCESS DOORS/PANELS IN WALL AND CEILING CONSTRUCTION, REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- ALL PENETRATIONS AT RATED CONSTRUCTION SHALL BE PROTECTED TO MAINTAIN RATING.
- WHERE OCCURS, CONTRACTOR SHALL PATCH ANY EXISTING WALLS AND/OR CEILING AS NEEDED TO REFURBISH THE LEASE SPACE AND REPAIR ALL DAMAGES CAUSED BY CONTRACTOR.
- INTERIOR WALLS AND CEILING SHALL BE INSTALLED IN ACCORDANCE TO STATE AND LOCAL CODES, INCLUDING REQUIREMENTS FOR FLAME SPREAD AND SMOKE DENSITY RATINGS FOR FINISH MATERIALS.
- WHEN USED, ALL NOISE BARRIER BATTS (SOUND INSULATION) AND INSULATION BATTS SHALL BE NON-COMBUSTIBLE AND SHALL NOT CONTAIN OR UTILIZE OZONE DEPLETING COMPOUNDS.
- ALL NEW CONSTRUCTION MATERIALS SHALL BE 100% ASBESTOS-FREE.

## GENERAL NOTES

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.

- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND/OR BUILDING. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY.
- THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR THE REQUIRED CONSTRUCTION PERMIT(S), FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK. APPLICATION FOR CONSTRUCTION PERMITS SHALL BE PROCESSED THRU THE BUILDING CODE COMPLIANCE DIVISION OF THE AUTHORITY.
- ALL WORK SHALL BE COVERED BY THE 2018 NORTH CAROLINA BUILDING CODE AND ALL REQUIREMENTS SPECIFIED IN THE CODE SHALL BE ADHERED TO AS IF THEY WERE CALLED FOR OR SHOWN ON THE DRAWINGS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH ON THESE DRAWINGS CAN BE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE REQUIREMENTS OR BECAUSE THEY ARE NOT SPECIFICALLY REQUIRED BY THE CODE.
- THE VARIOUS CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS FOR NEW WORK ARE PRESUMED TO BE REASONABLY CORRECT. THE CONTRACTOR IS TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS THEREIN AND HE SHALL REPORT IMMEDIATELY TO THE ARCHITECT ANY DISCREPANCY.
- COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS ESTABLISHED AND MAINTAINED BY NATIONAL GEODETIC SURVEY OF THE NATIONAL OCEAN SERVICE, NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION OR SUCCESSOR AGENCY.
- THE TERM "FINISH FLOOR" SHALL MEAN THE NORMAL FINISHED SURFACE OF THE FLOOR LEVEL. ALL ELEVATIONS GIVEN FOR EXISTING BUILDINGS ARE TO FINISHED FLOOR. THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS FOR EXISTING STRUCTURES PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL CORRECT ANY VARIATIONS IN FLOOR ELEVATIONS CREATED BY THE REMOVAL OF PARTITIONS AND/OR FOR THE INSTALLATION OF NEW DOOR OPENINGS.
- THE CONTRACTOR SHALL NOT CONSTRUCT INTERIOR CMU PARTITION WALLS TO FULL HEIGHT UNTIL ALL PIPES, DUCTS, ETC. ARE IN PLACE AND TESTED.
- THE CONTRACTOR SHALL INSTALL SUSPENDED CEILING, TO MEET THE CEILING HEIGHT REQUIREMENTS INDICATED IN THE CEILING HEIGHT INFORMATION ON REFLECTED CEILING PLANS.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL FLOORS, WALLS CEILING, ETC.. DAMAGED OR EXPOSED DUE TO WORK OR REMOVALS AND FINISH TO MATCH ADJOINING SURFACES.
- FLOORS IN SPACES WITH MULTIPLE FLOOR DRAINS SHALL BE PITCHED TO THE FLOOR DRAIN.
- AT TOILET AREAS AND OTHER LOCATIONS WITH ONE DRAIN ONLY, PROVIDE DRAIN $\frac{1}{8}$ " BELOW FINISH FLOOR AND PROVIDE A TWO (2) FEET SWALE IN CONCRETE TO DRAIN.
- THE CONTRACTOR SHALL NOT INSTALL SUSPENDED OR FURRED CEILING IN AREAS WHERE PIPES ARE TO BE CONCEALED (HEATING, PLUMBING) UNTIL THE PIPING HAS BEEN TESTED.
- ALL VERTICAL SHAFTS SHALL HAVE A MINIMUM FIRE RATING OF 2-HOURS UNLESS REQUIRED OTHERWISE BY CODES DUE TO OCCUPANCY ADJACENCIES.
- ALL LOOSE LINTELS GREATER THAN 4'-0" SHALL BE FIREPROOFED.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF PLUMBING FIXTURES PRIOR TO THE CONSTRUCTION OF PARTITIONS BEHIND SUCH FIXTURES.
- THE DISTANCE FROM DOOR JAMBS TO ADJACENT PARTITIONS, BUILT-IN FURNITURE OR OTHER FURNISHINGS ON THE HINGE SIDE SHALL NOT BE LESS THAN 6" UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL EXTEND FLOORING MATERIAL INTO ALL WARDROBES AND CLOSETS.
- ALL ELECTRICAL INDICATIONS ON ARCHITECTURAL DRAWINGS ARE FOR LOCATION PURPOSES ONLY.
- THE CONTRACTOR SHALL COORDINATE OPENINGS IN THE FOUNDATION AND EXTERIOR WALLS FOR THE INSTALLATION OF CONDUITS AND BOXES FOR ELECTRICAL EQUIPMENT.
- THE CONTRACTOR SHALL EXTEND ALL WALL FINISHES A MINIMUM OF 6" ABOVE THE SUSPENDED OR FURRED CEILING.
- UNLESS OTHERWISE NOTED, EXTERIOR BRICK WALLS SHALL BE INSTALLED IN A RUNNING BOND.
- WHERE MANUFACTURERS' NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE THEY SHALL BE DEEMED EQUAL.
- FIRESTOPPING SHALL BE INSTALLED AT EACH SIDE OF PENETRATION OF FIRE-RATED CONSTRUCTION AS PER SPECIFICATIONS. FIRESTOPPING MATERIALS ARE TO BE APPROPRIATE FOR, AND BE PART OF A LISTED AND LABELED ASSEMBLY IN ACCORDANCE WITH THE BUILDING CODE OR HAVE OTCR OR MEA APPROVAL.
- LOCATIONS AND DIMENSIONS OF CONCRETE EQUIPMENT PADS IN THESE DRAWINGS ARE APPROXIMATE. FINAL LOCATIONS AND SIZES MUST BE COORDINATED WITH THE EQUIPMENT MANUFACTURER AND ARE SUBJECT TO APPROVAL WITH THE EQUIPMENT SHOP DRAWINGS. THERE SHALL BE NO ADDITIONAL MONIES PAID FOR INCREASE IN SIZE OF PAD DUE TO DIFFERENCE IN SIZE OF THE EQUIPMENT CHOSEN BY THE CONTRACTOR FROM THAT OF MODEL NUMBER/SIZE INDICATED IN CONTRACT DOCUMENTS.
- ALL RAMPS TO HAVE NON-SLIP SURFACE.
- THE CONTRACTOR SHALL COORDINATE AND INSTALL ALL CLEANOUT AND ACCESS DOORS IN PARTITIONS AND HUNG CEILING AS REQUIRED BY THE CONTRACT DOCUMENTS WHETHER OR NOT THEY ARE SPECIFICALLY CALLED FOR ON THE DRAWINGS.
- SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE.
- APPLICATION FOR A CERTIFICATE OF OCCUPANCY SHALL BE ACCOMPANIED BY AN ACCURATE AND COMPLETE FINAL SURVEY MADE BY A LICENSED SURVEYOR, SHOWING THE LOCATION OF ANY NEW BUILDING AND/OR ANY EXTENSION TO AN EXISTING BUILDING, THE ELEVATION OF THE FIRST FLOOR, THE FINISHED GRADE OF OPEN SPACES ON THE LOT, THE LOCATION AND CONTROLLING GRADES OF WATERCOURSES, PAVED SWALES, AND SIMILAR ABOVE-GRADE METHODS OF STORM WATER DISPOSAL, THE LOCATIONS OF ALL CATCH BASINS ON THE PROPERTY, THE ESTABLISHED CURB LEVEL, AND THE LOCATION OF ALL OTHER STRUCTURES AND IMPERVIOUS SURFACES ON THE LOT. THE SURVEY SHALL ALSO SHOW THE LOCATION AND BOUNDARIES OF THE LOT OR PLOT UPON WHICH SUCH BUILDINGS AND STRUCTURES ARE LOCATED.
- ADDITIONAL NOTES THAT ARE APPLICABLE TO THIS PROJECT MAY BE FOUND THROUGHOUT THE CONTRACT DRAWINGS.

## CODE DATA

### I. GENERAL SITE AND PROJECT INFORMATION

- This is a renovation of an existing building for use as Self-Storage (S-1)
- The building construction type is IIB Non-Combustible
- The entire building is sprinklered in accordance with 2018 NCBC and NFPA 13
- Provisions have been made so that all exits discharge to grade or at access to grade.
- These construction documents indicate for accessibility to be maintained from the public way into, and throughout building

### II. GOVERNING CODES

BUILDING: 2018 North Carolina Building Code  
 MECHANICAL: 2018 North Carolina Mechanical Code  
 ELECTRICAL: 2020 North Carolina Electrical Code  
 PLUMBING: 2018 North Carolina Plumbing Code  
 FIRE PROTECTION: most current NFPA 13  
 LIFE SAFETY: most current NFPA Life Safety Code  
 ACCESSIBILITY: Americans with Disabilities Act and Associated Guidelines (ADAAG), ANSI A117.1-2009

### III. USE AND OCCUPANCY CLASSIFICATION

- Tab. 508.4- Group S-1 (Medium Hazard Storage)
- Sec. 304 & 311- This project is classified as Moderate Hazard Storage Use Group S-1 Classification

### IV. TYPE OF CONSTRUCTION

- Height and fire Area

	Moderate Hazard Storage (S-1) Type IIB Construction (Sprinklered)	
	Allowable	Actual
Height	75'-0"	20'-0" +/-
Stories	3	1
Area	104,000	21,000

- Fire Resistance Ratings Requirements- Per Table 601:Section IBC601

Building Element	Construction Type IIB			
Primary Structural Frame	0			
Bearing Walls (Exterior)	0			
Bearing Walls (Interior)	0			
Non-Bearing Walls (Exterior)	X<5' = 1	5<X>10 = 1	10<X>30 = 1	X > 30 = 0
Non-Bearing Walls (Interior)	0			
Floor Construction and Associated Secondary Members	0			
Roof Construction and Associated Secondary Members	0			

### V. INTERIOR FINISHES

- Table. 803.1- Interior Wall And Ceiling Finish Requirements.(Sprinklered)

Occupancy Group	Interior Exit Stairways and Exit Passageways	Corridors and Enclosures for Exit Access Stairways and Ramps	Rooms and Enclosed spaces
Business (B)	B	C	C
Storage (S-1)	C	C	C

Class A: Flame Spread 0-25  
 Class B: Flame Spread 26-75  
 Class C: Flame Spread 76-200

### VI. MEANS OF EGRESS

- Values are from plan layout contained in these construction documents. Business/Moderate Hazard Storage/Moderate Hazard Factory TOTAL SQUARE FOOTAGE

Building	Storage (S-1)	Business (B-1)	Occupant Load
Building 1	14,875 S.F.	0 S.F.	30
Building 2	13,000 S.F.	1,025 S.F.	33

- Occupancy calculation values are from Tab. 1004.5 and plan layout contained in these construction documents.

#### TOTAL OCCUPANT LOAD:

Business (B-1)	Storage (S-1)	Total
Occupant Load= 3	Occupant Load= 60	63

- Exit width calculation values are from Sec. 1005.1 and calculations above.

Total occupant load of 60 multiplied by 0.20 per occupant equals 12.0" of exit width required. 144" of exit width have been provided.  
**Stairway Capacity** with a total occupant load of 60, multiplied by 0.3 per occupant equals 18.3" of exit width required. 72" of exit width for stairways have been provided.

### VII. DOOR REQUIREMENTS

- Sec. 1010.1.3- Opening force for interior side swinging doors without closers shall not exceed a 5 lb. force. For other doors the latch shall release when subjected to a 15 lb. force. The door shall be set in motion when subjected to a 30 lb. force and shall swing to a full open position when subjected to a 15 lb. force. All forces shall be applied to latch side.
- Sec. 1010.1.9- Egress doors shall be readily openable from the egress side without the use of a key or special knowledge or effort. Per 1010.1.9.3.2 the main exterior door or doors in Group B occupancy may be equipped with a key operated locking device from the egress side if the device is readily distinguishable as locked and there is a sign stating "This door to remain unlocked when building is occupied".

### VIII. EXIT QUANTITIES AND LOCATIONS

- Storage:** Per Table 1021.1 with an occupant load of 1-500 people, the minimum number of exits is 2. 2 Exits have been provided

### IX. EXIT ACCESS COMPONENTS

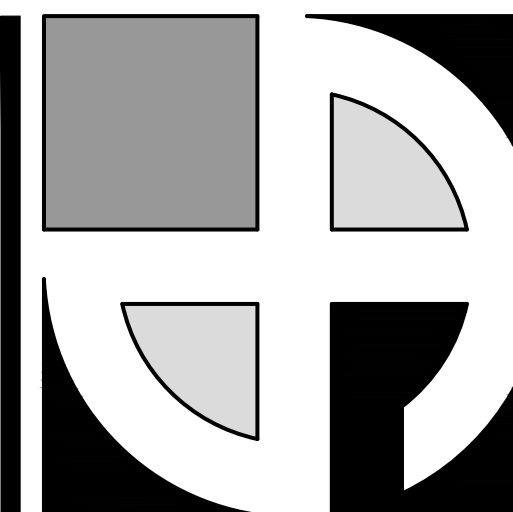
- Sec. 1018- Minimum clear aisle widths for public areas in Groups B occupancies shall be determined by Sec. 1005.1, but shall not be less than 36 inches.

### X. ACCESSIBILITY

- Sec. 1109.2- Toilet rooms are required to be accessible.
- Sec. 1109.3- Mop and service sinks are not required to be accessible.
- Sec. 1109.5.1- 2 drinking fountains shall be provided, one shall comply with requirements for people who use a wheelchair & one shall comply with requirements for standing patrons.
- Sec. 1109.12.2/ Table 1109.12.3- Point of Sale and Service Counters provided shall be accessible.

### XI. MINIMUM PLUMBING FACILITIES

- Sec. 2902.2- Separate toilet facilities provided for in adjacent office building.



**MARK A. DEAN**  
**ARCHITECT**



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**22-238**

**STORE SPACE**

937 E. Haggard Ave.  
 Elon, NC

No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE: 9-3-22  
 DRAWN BY: A. Barraclough  
 CHECKED BY: M. Dean  
 SCALE: NTS

**BUILDING CODE**  
**SUMMARY**

**G2.0**

**NOTE:**

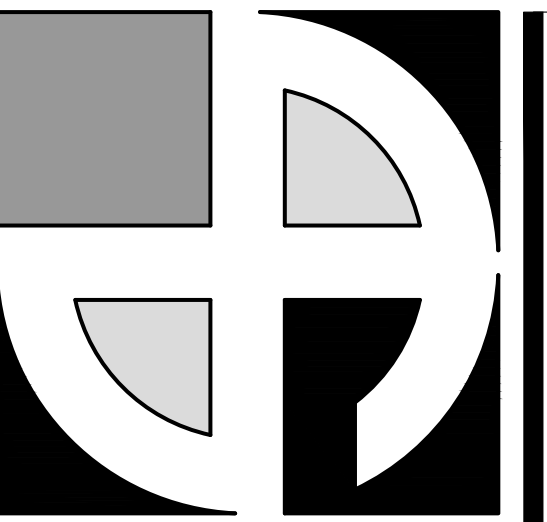
- ALL BIDDERS ARE REQUIRED TO VISIT THE SITE TO VIEW THE EXISTING CONDITION PRIOR TO SUBMITTING ANY PROPOSALS
- Substitutions Allowed **ONLY** Prior to Bid Delivery



# STORE SPACE

937 E. Haggard Ave.  
Elon, NC

Building 2	
TS 1.0	Life Safety Plan
TS 1.1	Life Safety Details
TS1.2	COMCHK
D 1.0	Demolition Plan
A 1.0	Floor Plan
A 1.1	Enlarged Bathroom Plan
A 1.2	Unit Mix Plan
A 1.3	Storage Unit Details
A 1.4	Storage Unit Installation
A 2.0	Reflective Ceiling Plan
A 2.1	Ceiling Details
A 3.0	Room Finish Plan
A 4.0	Door Schedule
A 5.0	Millwork
M 1.0	Mechanical Symbols, Abbreviations, & Notes
M 1.1	HVAC Plan
M 1.2	HVAC Schedule
M 1.3	HVAC Details
P 1.0	Plumbing Notes
P 2.0	Enlarged Office Plan
P 2.1	Plumbing Details
P 3.0	Condensate Plan
P 4.0	Gas Piping Plan
FP 1.0	Sprinkler Notes
FP 1.1	Sprinkler Plan
E 1.0	Symbols & Notes
E 1.1	Lighting Plan
E 1.2	Lighting Details
E 2.0	Power Plan
E 2.1	Enlarged Office Plan
E 3.0	Fire Alarm Plan
E 4.0	CCTV Plan



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No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22  
DRAWN BY:  
A. Barraclough  
CHECKED BY:  
M. Dean  
SCALE:  
NTS

## DRAWING LIST

**G1.0**



**BUILDING 2**

**Remoteness of Exits**  
 Building Diagonal is 228'-8"  
 Min Exit Separation Required is 114'-4"  
 Exits are separated by more than one half the building diagonal

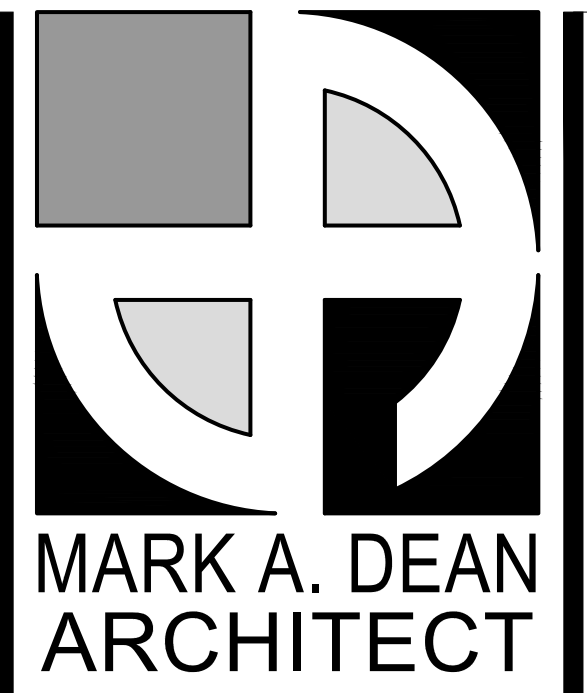
**Maximum Travel Distance**  
 Allowable: 300'  
 Actual: 195'-2"

**FE Locations**  
 Hazard Rating- Moderate  
 Max Floor Area Per Fire Extinguisher- 11,250  
 Minimum Fire Extinguisher Required- 2  
 4 Fire Extinguishers Provided  
 Fire Extinguisher Travel Distance- 75'

**Egress Capacity**  
 Floor Gross Area- 20,348 Sqft  
 Max Floor Area per Occupant  
 Storage (13,000 Sqft.) -500 Sqft.= 26  
 Business (1,025 Sqft.) -150 Sqft.= 7  
 Total Occupant Load- 33 People  
 Required Egress Width per Occupant- 0.20"  
 Total Egress Width Required- 6.2"  
 Total Egress Width Provided- 72"

**Legend**

- Exit Light w/ Battery Back-up
- Emergency Light w/ Battery Back-up
- Fire Extinguisher
- Exterior Emergency Light



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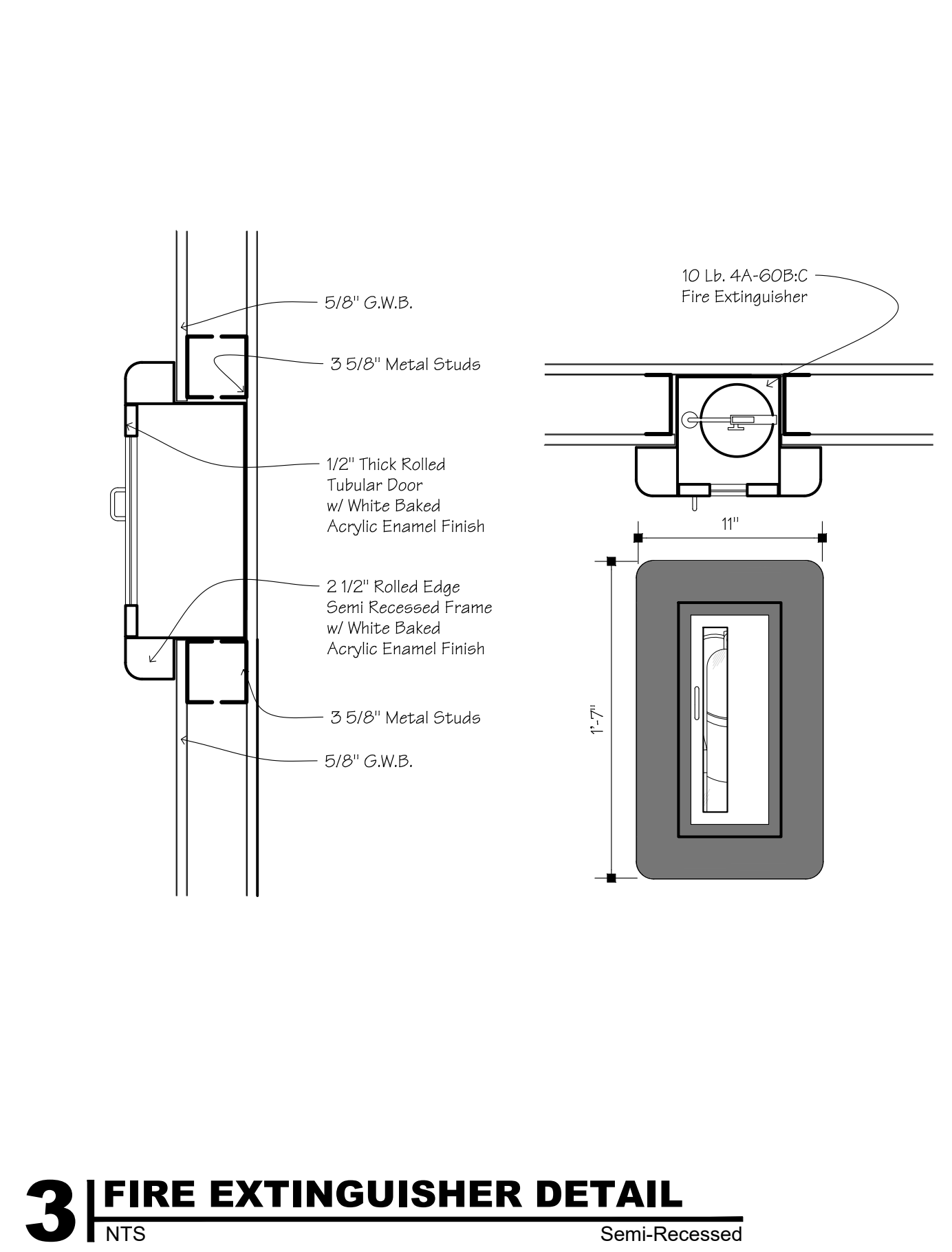
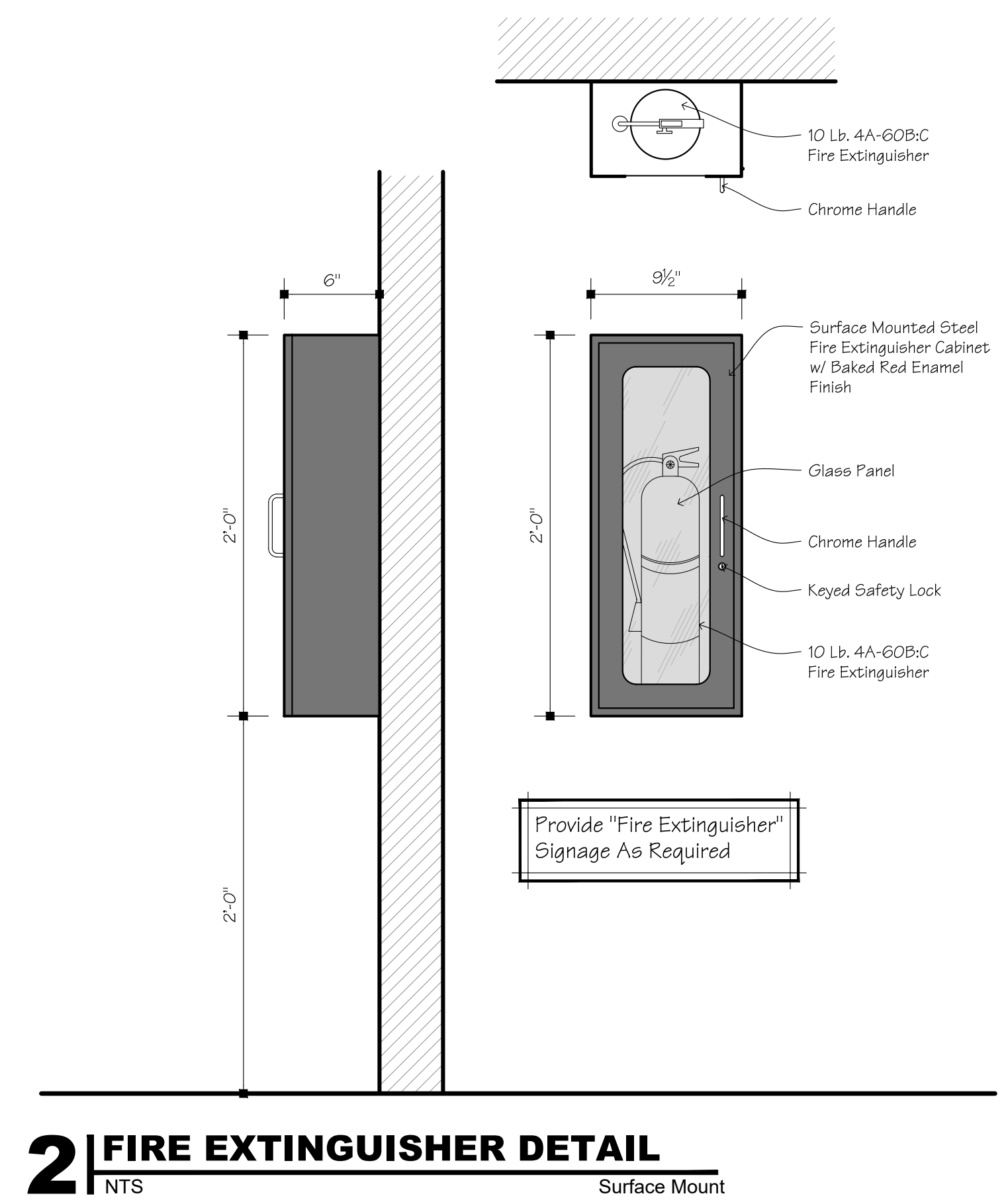
**STORE SPACE**

937 E. Haggard Ave.  
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BUILDING 1

BUILDING 2

**1 BUILDING 2 LIFE SAFETY PLAN**  
 3/32"=1'-0"



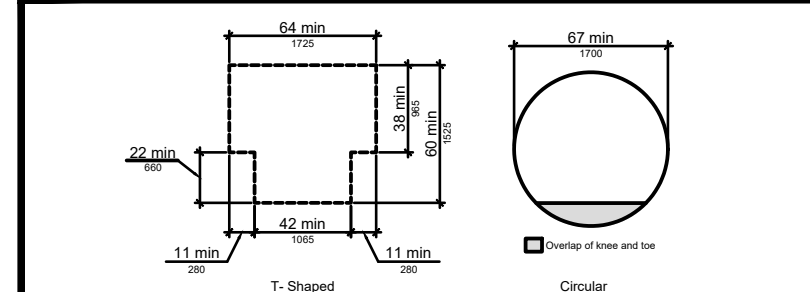
No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE: 9-3-22  
 DRAWN BY: A. Barraclough  
 CHECKED BY: M. Dean  
 SCALE: 3/32"=1'-0"

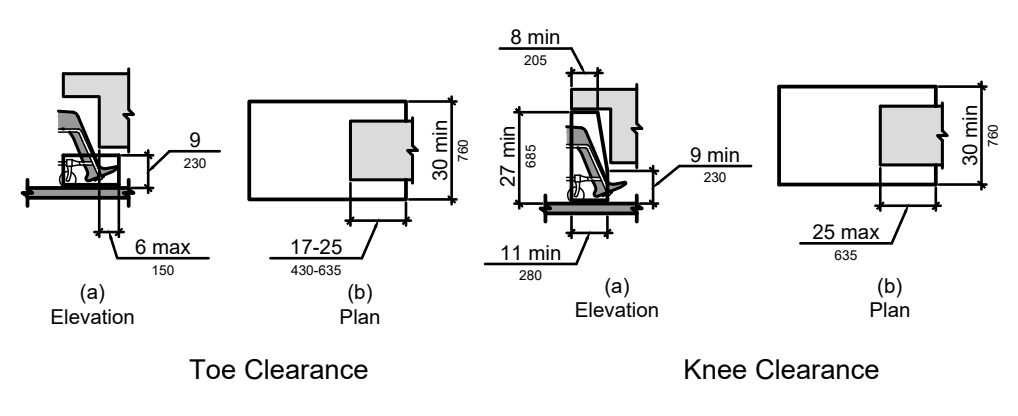
**LIFE SAFETY PLAN**  
**TS1.0**



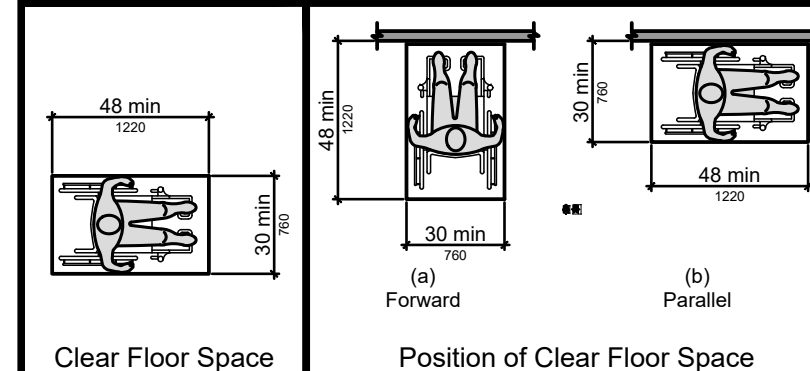
## Basic Building Blocks



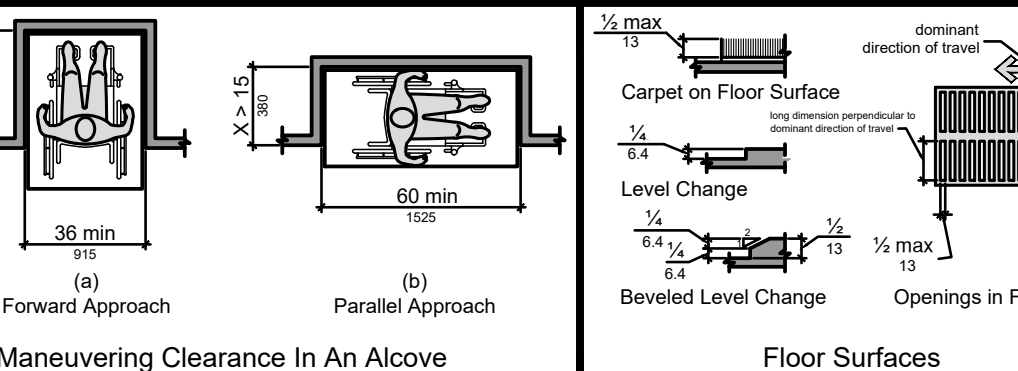
Turning Space



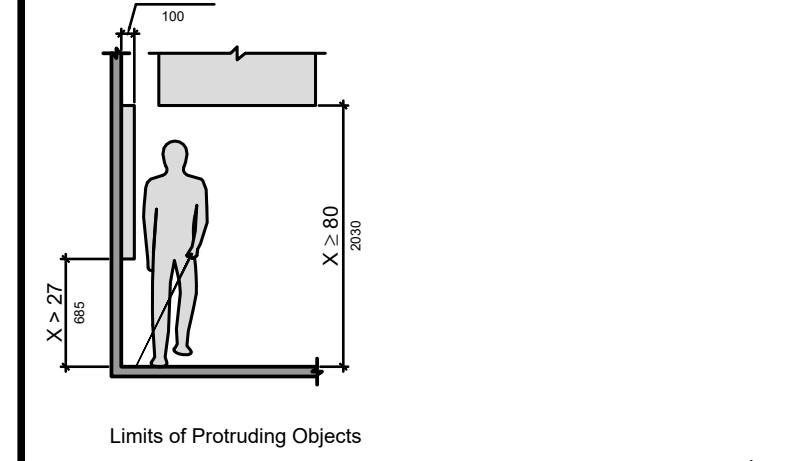
Toe Clearance Knee Clearance



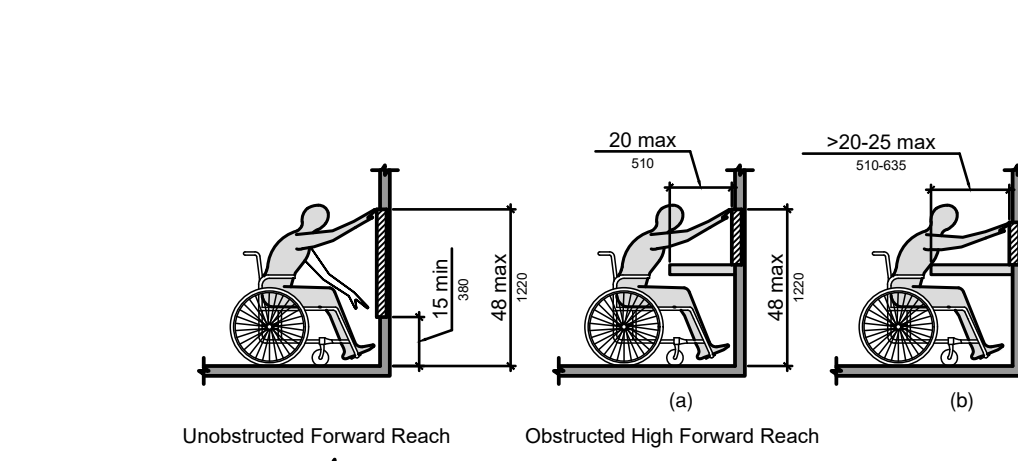
Clear Floor Space Position of Clear Floor Space



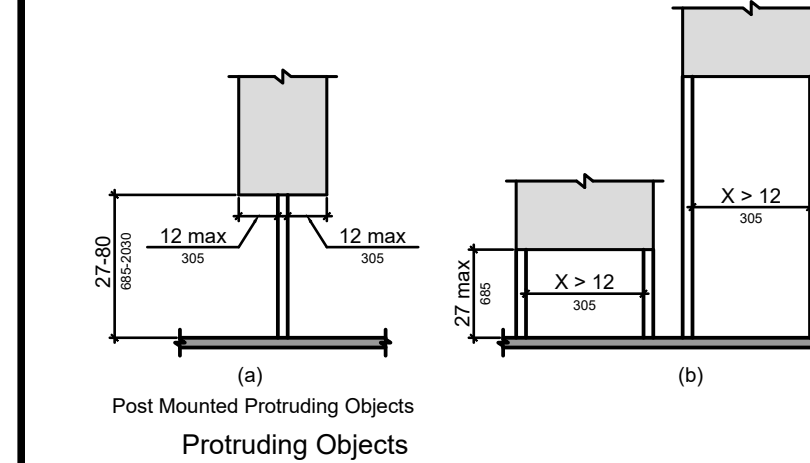
Maneuvering Clearance In An Alcove Floor Surfaces



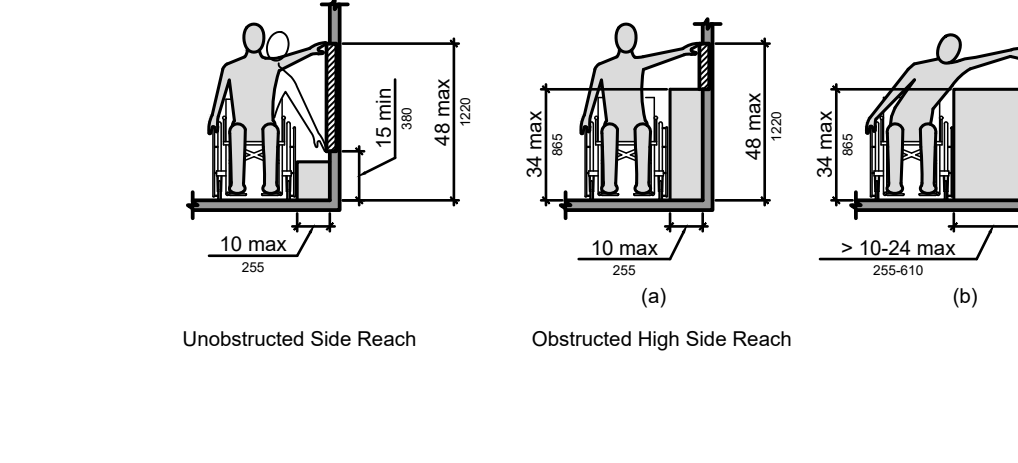
Limits of Protruding Objects



Unobstructed Forward Reach Obstructed High Forward Reach

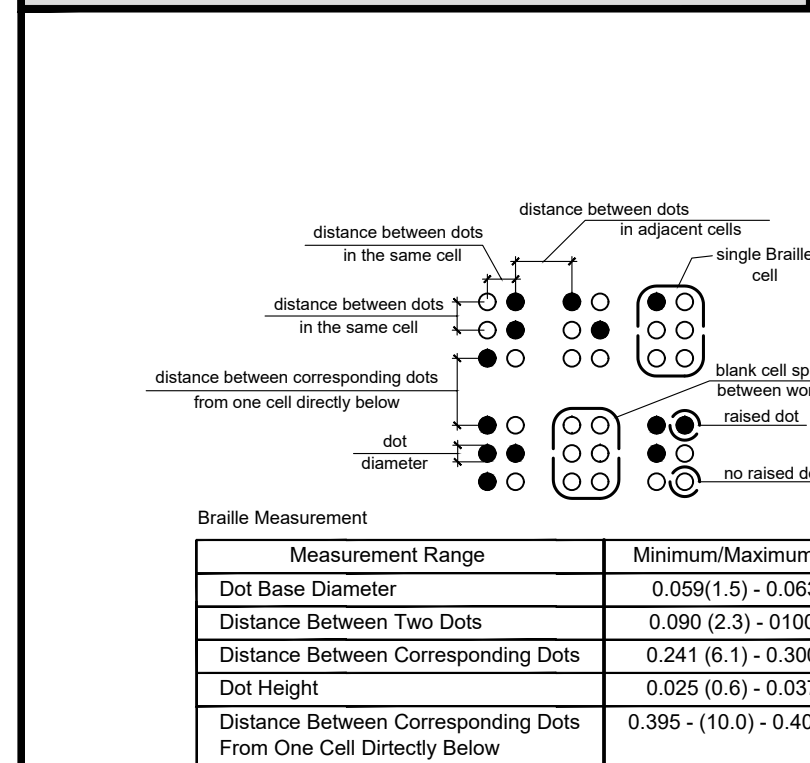


Post Mounted Protruding Objects Protruding Objects



Unobstructed Side Reach Obstructed High Side Reach

## Signage



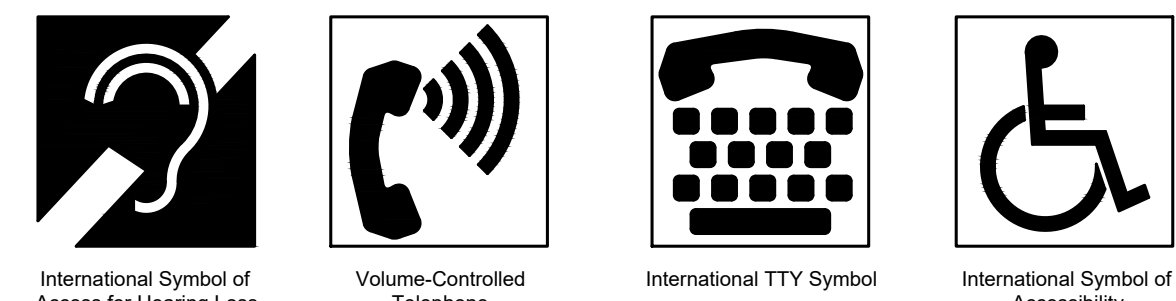
Braille Measurement UNISEX not in pictogram field

## Notes

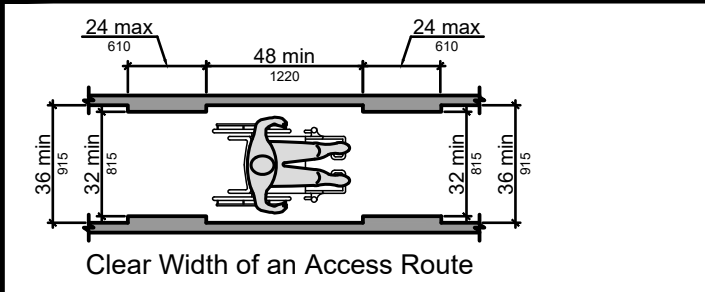
Convention	Description
	dimension showing English units (in inches unless otherwise specified) above the line and SI units (in millimeters unless otherwise specified) below the line
	dimension for small measurements
	dimension showing a range with minimum - maximum
	minimum maximum

Convention	Description
	greater than
	greater than or equal to
	less than
	less than or equal to
	boundary of clear floor space or maneuvering clearance
	centerline
	a permitted element or its extension
	direction of travel or approach

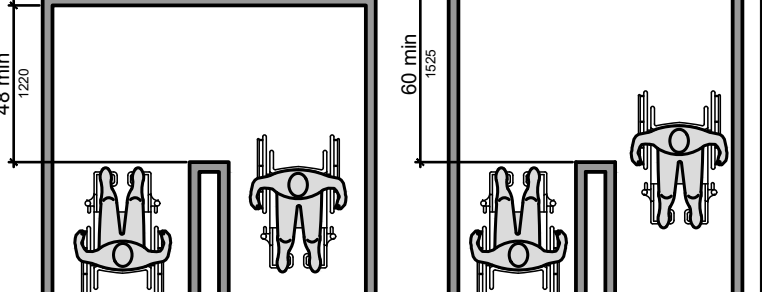
Convention	Description
	a wall, floor, ceiling or other element cut in section or plan
	a highlighted element in elevation or plan
	location zone of element, control or feature



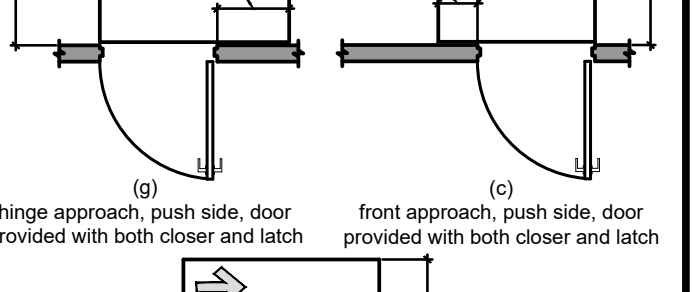
## Accessible Routes



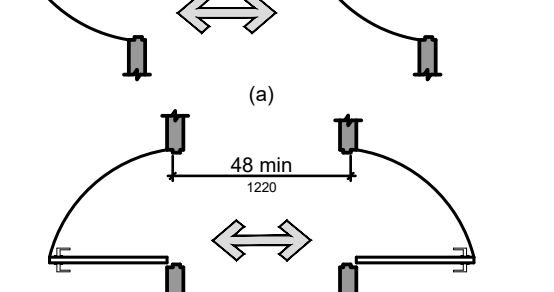
Clear Width of an Access Route



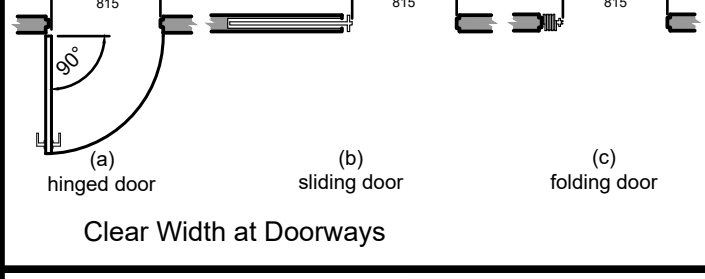
Clear Width at Doorways



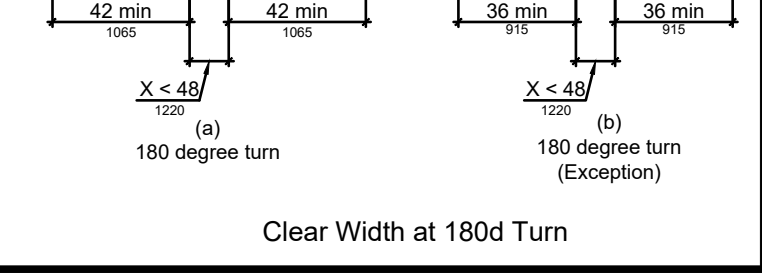
Clear Width at 180d Turn



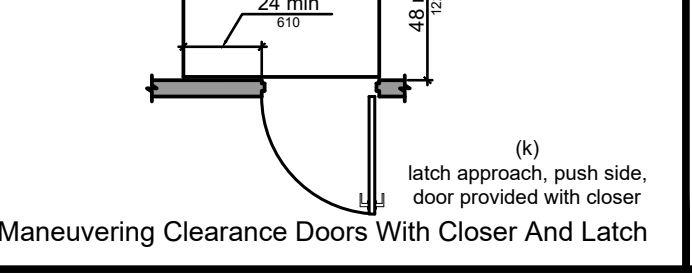
Maneuvering Clearance Doors With Closer And Latch



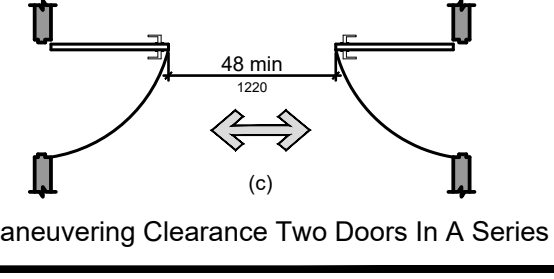
Clear Width at 180 degree turn



Maneuvering Clearance At Sliding and Folding Doors

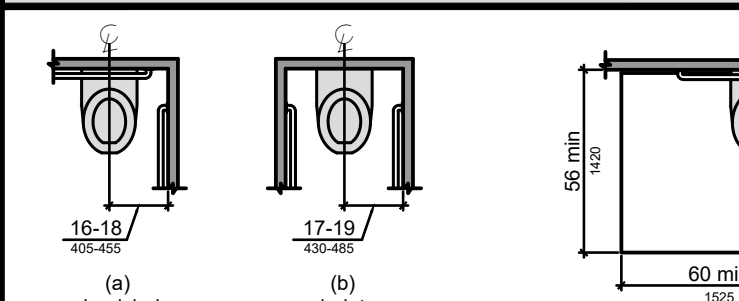


Maneuvering Clearance At Recessed Doors

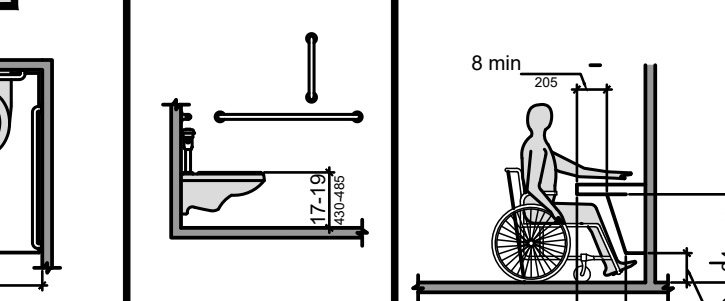


Maneuvering Clearance At Manual Swinging Doors

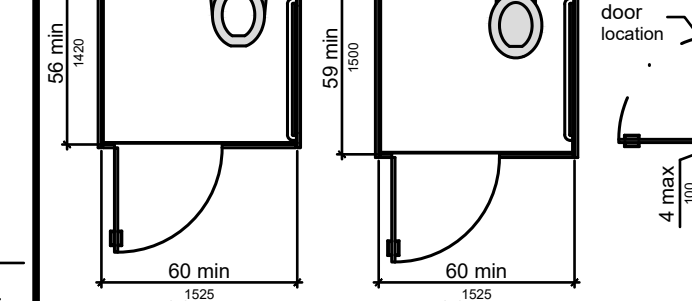
## Plumbing Elements



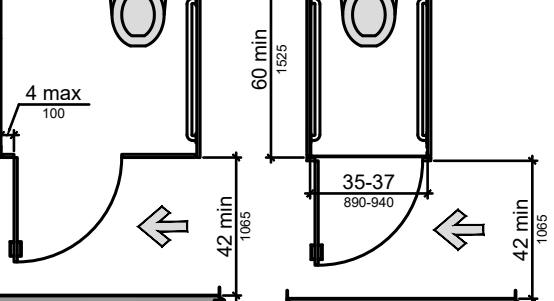
Water Closet Location Water Closet Clearance



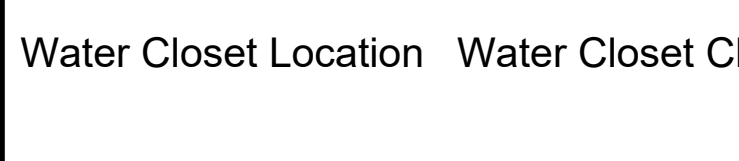
Water Closet Seat Height



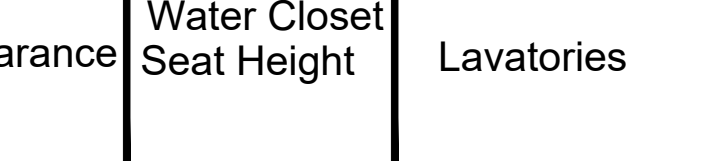
Lavatories



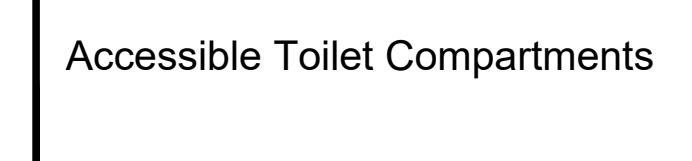
Accessible Toilet Compartments



Grab Bar Location



Dispenser Location



Compartment Toe Clearance



Drinking Fountain



3284 WALDEN AVENUE  
DEPEW, NEW YORK 14043  
PHONE: (716) 651-0381  
FAX: (716) 651-0382

**22-238**

**STORE SPACE**

937 E. Haggard Ave.  
Elon, NC

No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE: 9-3-22  
DRAWN BY: A. Barraclough  
CHECKED BY: M. Dean  
SCALE: 1/8" = 1'-0"

LIFE SAFETY  
DATA S  
**TS 1.1**



COMcheck Software Version 4.1.1.0  
Interior Lighting Compliance Certificate

**Project Information**  
 Energy Code: 2015 IECC  
 Project Title: Store Space  
 Project Type: New Construction  
 Construction Site: Owner/Agent  
 937 East Haggard Ave  
 Elon, NC 27244  
 Designer/Contractor:  
 Dean Architects  
 3284 Walden Ave  
 Depew, NY 14043

**Additional Efficiency Package(s)**  
 High efficiency HVAC. Systems that do not meet the performance requirement will be identified in the mechanical requirements checklist report.

**Allowed Interior Lighting Power**

A	B	C	D
Area Category	Floor Area (ft <sup>2</sup> )	Allowed Watts / ft <sup>2</sup>	Allowed Watts (B X C)
1-Warehouse/Medium/Bulky/Pallet Material Storage	13000	0.58	7540
Total Allowed Watts =			7540

**Proposed Interior Lighting Power**

A	B	C	D	E
Fixture ID - Description / Lamp / Wattage Per Lamp / Ballast	Lamps/ Fixture	# of Fixtures	Watt. (C X D)	
1-Warehouse/Medium/Bulky/Pallet Material Storage				
LED 1 H: Other	1	16	18	288
LED 2 BE: Other	1	144	34	4866
LED 3 D: Other	1	14	34	476
Total Proposed Watts =				5660

**Interior Lighting Passes: Design 25% better than code**

**Interior Lighting Compliance Statement**  
 Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

Project Title: Store Space  
 Data Filename: S:\jobs\2022\Store Space\Elon NCPHase 2\ELON NC- ph2 Bldg 2.cck  
 Report date: 04/17/23  
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COMcheck Software Version 4.1.1.0  
Mechanical Compliance Certificate

**Project Information**  
 Energy Code: 2015 IECC  
 Project Title: Store Space  
 Location: Elon College, North Carolina  
 Climate Zone: 4a  
 Project Type: New Construction  
 Construction Site: Owner/Agent  
 937 East Haggard Ave  
 Elon, NC 27244  
 Designer/Contractor:  
 Dean Architects  
 3284 Walden Ave  
 Depew, NY 14043

**Additional Efficiency Package(s)**  
 High efficiency HVAC. Systems that do not meet the performance requirement will be identified in the mechanical requirements checklist report.

**Mechanical Systems List**

**Quantity System Type & Description**

3	HVAC System 1 (Single Zone) Heating: 3 each - Dual Furnace, Chk. Capacity = 80000 Btu/h Proposed Efficiency = 88.00% Ec. Required Efficiency: 88.00% Ec Cooling: 3 each - Split System, Capacity = 74000 kBtu/h, Air-Cooled Condenser, Air Economizer Proposed Efficiency = 10.45 EER, Required Efficiency: 10.45 EER + 1.2 EER Fan System: None
---	---

**Mechanical Compliance Statement**  
 Compliance Statement: The proposed mechanical design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

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COMcheck Software Version 4.1.1.0  
Inspection Checklist  
Energy Code: 2015 IECC

Requirements: 0.0% were addressed directly in the COMcheck software. Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is remitted in a separate table, a reference to that table is provided.

Section # & Req. ID	Plan Review	Complies?	Comments/Assumptions
C103.2 (FR2)	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the mechanical systems and equipment and document where exceptions to the standard are claimed. Load calculations per acceptable engineering standards and handbooks.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C103.2 (FR4)	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406 (FR9)	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the additional energy efficiency package options.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: Store Space  
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Section # & Req. ID	Footing / Foundation Inspection	Complies?	Comments/Assumptions
C403.2.4 (FR3)	Snow/ice melting system sensors for future connection to controls. Freeze protection systems have automatic controls installed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: Store Space  
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Section # & Req. ID	Plumbing Rough-In Inspection	Complies?	Comments/Assumptions
C404.5 (PL6)	Heated water supply piping conforms to pipe length and volume requirements. Refer to section details.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C404.6.3 (PL7)	Pumps that circulate water between a heater and storage tank have controls that limit operation from startup to <= 5 minutes after end of heating cycle.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C404.7 (PL8)	Water distribution system that pumps water from a heated-water supply pipe back to the heated-water source through a cold-water supply pipe in a demand recirculation water system. Pumps within this system have controls that start the pump upon receiving a signal from the action of a user of a fixture or appliance and limits the temperature of the water entering the cold-water piping to 104°F.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

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Section # & Req. ID	Mechanical Rough-In Inspection	Complies?	Comments/Assumptions
C403.2.6 (ME41)	Thermally ineffective panel surfaces of sensible heating panels have insulation >= R-3.5.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.12 (ME5)	HVAC fan systems at design conditions do not exceed allowable fan system motor nameplate hp or fan system shp.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Mechanical Systems list for values.
C403.2.12 (ME117)	Fans have efficiency grade (IEG) >= IE7. The total efficiency of the fan at the design point of operation = 15% of maximum total efficiency of the fan.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.13 (ME71)	Unenclosed spaces that are heated use only radiant heat.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.3 (ME55)	HVAC equipment efficiency verified.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Mechanical Systems list for values.
C403.2.6 (ME59)	Demand control ventilation provided for spaces >100 ft <sup>2</sup> and >25 people/1000 ft <sup>2</sup> occupant density and served by systems with air side economizer, auto modulating outside air damper control, or design airflow >3,000 cfm.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.6 (ME115)	Enclosed parking garage ventilation has automatic contaminant detection and capacity to stage or modulate fans to 50% or less of design capacity.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.7 (ME57)	Exhaust air energy recovery on systems meeting Table C403.2.7(1) and C403.2.7(2).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.8 (ME116)	Kitchen exhaust systems comply with replacement air and conditioned supply air limitations, and safety hood rating requirements and maximum exhaust rate criteria.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.9 (ME60)	HVAC ducts and plenums insulated. Where ducts or plenums are installed in or under a slab, verification may need to occur during Foundation Inspection.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.9 (ME10)	Ducts and plenums sealed based on static pressure and location.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.9 (ME11)	Ductwork operating >3 in. water column requires air leakage testing.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

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Section # & Req. ID	Mechanical Rough-In Inspection	Complies?	Comments/Assumptions
C403.4.4 (ME110)	Multiple zone VAV systems with DDC of individual zone boxes have static pressure setpoint reset controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Mechanical Systems list for values.
C408.2.2 (ME53)	Air outlets and zone terminal devices have means for air balancing.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.5 (ME123)	Refrigerated display cases, walk-in coolers or walk-in freezers served by remote compressors and remote condensers not located in a condensing unit, have fan-powered condensers that comply with Sections C403.5.1 and refrigeration compressor systems that comply with C403.5.2.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

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Section # & Req. ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.1 (EL15)	Lighting controls installed to uniformly reduce the lighting load by at least 50%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1 (EL18)	Occupancy sensors installed in required spaces.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1 (EL23)	Independent lighting controls installed per approved lighting plans and all manual controls readily accessible and visible to occupants.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2 (EL22)	Automatic controls to shut off all building lighting installed in all buildings.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.3 (EL16)	Daylight zones provided with individual controls that control the lights independent of general area lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.3 (EL20)	Primary sighted areas are equipped with required lighting controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.3 (EL21)	Enclosed spaces with daylight area under skylights and rooftop monitors are equipped with required lighting controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.4 (EL4)	Separate lighting control devices for specific uses installed per approved lighting plans.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.4 (EL8)	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.3 (EL45)	Exit signs do not exceed 5 watts per face.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

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Section # & Req. ID	Final Inspection	Complies?	Comments/Assumptions
C408.2.4 (FI17)	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5 (FI8)	Furnished O&M manuals for HVAC systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.2 (FI27)	HVAC systems and equipment capacity does not exceed calculated loads.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.4 (FI1)	Heating and cooling to each zone is controlled by a thermostat control. Minimum one humidity control device per installed humidification/dehumidification system.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.4 (FI38)	Thermostatic controls have a 5 °F deadband.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.4 (FI3)	Temperature controls have setpoint overlap restrictions.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.4 (FI39)	Each zone equipped with setback controls using automatic time clock or programmable control system.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.4 (FI21)	Automatic Controls: Setback to 55°F (heat) and 85°F (cool); 7-day clock, 2-hour occupant override, 10-hour backup.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.4.1 (FI18)	Interior installed lamp and fixture lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Interior Lighting fixture schedule for values.
C408.2.1 (FI28)	Commissioning plan developed by registered design professional or approved agency.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.3 (FI31)	HVAC equipment has been tested to ensure proper operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.3 (FI10)	HVAC control systems have been tested to ensure proper operation, calibration and adjustment of controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

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 Report date: 04/17/23  
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Section # & Req. ID	Final Inspection	Complies?	Comments/Assumptions
C408.2.4 (FI29)	Preliminary commissioning report completed and certified by registered design professional or approved agency.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5 (FI7)	Furnished HVAC as-built drawings submitted within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5 (FI16)	Furnished as-built drawings for electric power systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5 (FI43)	An air and/or hydronic system balancing report is provided for HVAC systems.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5 (FI30)	Final commissioning report due to building owner within 90 days of receipt of certificate of occupancy.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.3 (FI33)	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: Store Space  
 Data Filename: S:\jobs\2022\Store Space\Elon NCPHase 2\ELON NC- ph2 Bldg 2.cck  
 Report date: 04/17/23  
 Page 10 of 11



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22-238

STORE & SPACE

937 E. Haggard Ave.  
Elon, NC

No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22  
 DRAWN BY:  
A. Barraclough  
 CHECKED BY:  
M. Dean  
 SCALE:

COMMCHK  
2  
TS1.2



# DEMOLITION NOTES

1. Conform to applicable state and local codes for demolition work including safety of adjacent structures, dust control run off and disposal.
2. Notify all affected utility companies before starting work and comply with their requirements.
3. Mark location of all utilities.
4. Do not close or obstruct roadways, sidewalks or hydrants without proper permits.
5. Conform to applicable regulatory procedures when discovering hazardous or contaminated materials.
6. Provide, erect and maintain temporary barriers and security devices at locations required to prevent entrance to work area.
7. Prevent movement or settlement of structural components. Provide bracing and shoring as required.
8. Cease operations immediately if structure appears to be in danger, notify architect. Do not resume operations until directed.
9. Disconnect and remove or cap all existing utilities within building source to point of incoming service.
10. Remove materials to be reinstated or retained in a manner to prevent damage.
11. Remove demolished materials from the site. Do not burn or bury materials on site. Leave site in clean condition.
12. Remove all interior partitions noted on demolition plan for removal. Proper care should be taken to provide proper bracing of the structure.
13. Remove all electrical wiring and appurtenances in demo walls throughout the structure.
14. Remove all plumbing pipes and fixtures as required by demolition and new construction. Cap sanitary lines below slab, cut supply lines back to nearest branch pipe.
15. Prior to any demolition work contractor must field verify all existing mechanical, plumbing & electrical work located in the tenant space which affects the adjacent tenant spaces. The landlord & the adjacent tenants must be notified a minimum of 12 hours prior to shutdown of any shared mechanical, plumbing & electrical systems. Disruption of any adjacent tenant space during operating hours will be unacceptable reference mechanical, plumbing, fire protection & electrical drawings & notes, and coordinate all demolition with new work.
16. Walls, partitions, doors, frames & other items to be removed are shown dashed. Services within walls & partitions shall also be removed. Edges of walls shown to remain shall be cut or clearly toothed to accept new construction. Repair & patch existing walls shown to remain where intersecting walls, doors, frames, etc. are shown to be removed & where existing construction will now be exposed in the new construction.
17. Existing construction shown to remain including but not limited to walls, partitions, doors, frames, etc. shall be protected during demolition. Damage to existing construction shown to remain shall be restored to match pre-damaged condition.
18. Provide all necessary shoring, bracing, & support to prevent movement, settlement, or collapse of structure or element to be demolished, & adjacent structure or element shown to remain. Shoring & bracing shall be designed by contractors professional engineer licensed in the applicable jurisdiction.
19. Provide temporary weather protection & security devices during interval between demolition & removal of existing construction on exterior surfaces & installation of new construction to ensure that no water leakage or damage occurs to structure or to interior areas of existing building.
20. Existing concrete floor slabs, masonry walls & existing structural framing systems shown to be removed shall be cleanly saw cut from existing construction. Reference structural demolition drawings & notes.
21. All infill or replacement work shall match existing conditions in materials, construction & finish, unless specifically noted elsewhere in the construction documents.
22. Remove all existing obsolete misc non-loadbearing items in their entirety throughout tenant space above & below existing ceilings, including (but not limited to) plaster & drywall partitions, doors, frames, soffits, studs, furring, insulation, ceiling suspension systems, etc. particularly where existing items will interfere with the installation of new construction, or where existing items will be exposed in the new construction, unless specifically shown elsewhere in the contract documents to remain. Repair & patch all surfaces to remain with materials matching existing construction. Coordinate with new construction. Reference Structural Drawings for demolition details & notes.
23. Remove all existing obsolete plumbing, mechanical & electrical equipment in their entirety throughout tenant space, particularly where items will interfere with the installation of new construction, or where existing items will be exposed in the new construction, unless specifically shown elsewhere in the contract documents to remain. Repair & patch with materials matching existing construction. Coordinate with new construction. Reference mechanical & electrical drawings & notes.
24. Remove all existing obsolete roof mounted mechanical, plumbing & electrical equipment & devices in their entirety from the roof of the tenant space & salvage equipment per owner (Mall Management) direction. (Including All equipment & devices serving tenant spaces to be demolished) particularly where existing items will interfere with the installation of new construction, unless specifically shown elsewhere in the contract documents to remain. Remove all gas piping & electrical conduit or wiring associated with demolished equipment back to main. Repair & patch all surfaces to remain with materials matching existing construction. Roofing contractor to patch roofing insulation, membrane & accessories with compatible materials for existing roof to maintain warranty & manufacturers requirements. Coordinate with new construction. Reference mechanical & electrical drawings and notes.
25. Contractor to selectively sawcut & remove slab for new plumbing, electrical & other underground services. Coordinate with mechanical & electrical drawings. Patch & match adjacent levels & materials. Color of patching for concrete surfaces to match adjacent existing surface.
26. Remove all previous tenants finishes including flooring, floor fastening & adhesives, floor leveling/patching materials, ceiling, ceiling finishes, ceiling attachments, light fixtures, furniture, fixtures, equipment & supplies and all improvements (including but not limited to vaults, safes, customer service counters, and food preparation & food storage equipment).
27. Existing structural shall be patched & repaired to meet the following criteria.
  1. Paint-ready surface with consistent shape & uniform surface & texture to the deck
  2. All protruding elements (bolts, fasteners and other elements) removed to a height of 12'-0" above existing concrete slab
28. All mechanical ductwork & support shall be disconnected & removed back to the demising walls.
29. All abandoned electrical wiring & conduit shall be removed back to the existing panel within the premises.
30. All plumbing fixtures shall be removed along with all piping & support materials, and capped at the floor at an accessible location. All abandoned plumbing or drain lines to be cut & capped beyond demising walls at main branch, ceiling & floor. All holes or trenches shall be filled flush with existing concrete floor.
31. Leave in place existing fire alarm components that connect to the fire alarm system that can be reused. Such components may be relocated by tenant & tenants expense.

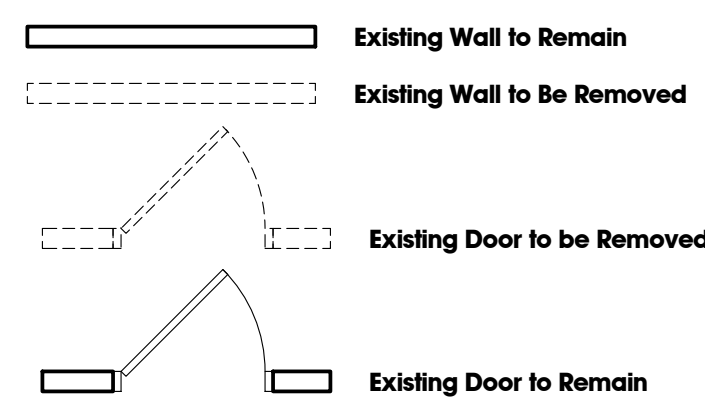
## DEMOLITION PLAN

3/32"=1'-0"

### KEYED NOTES

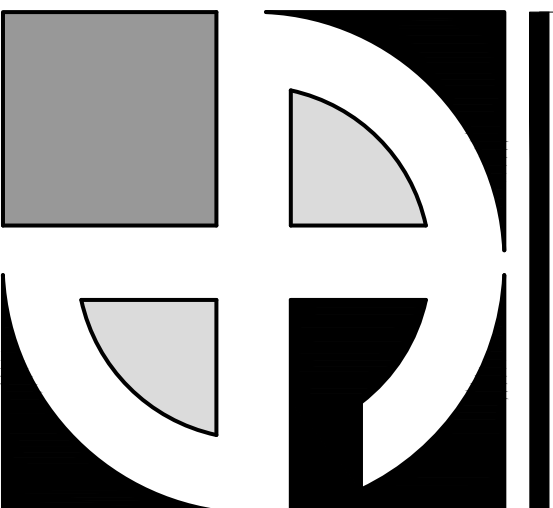
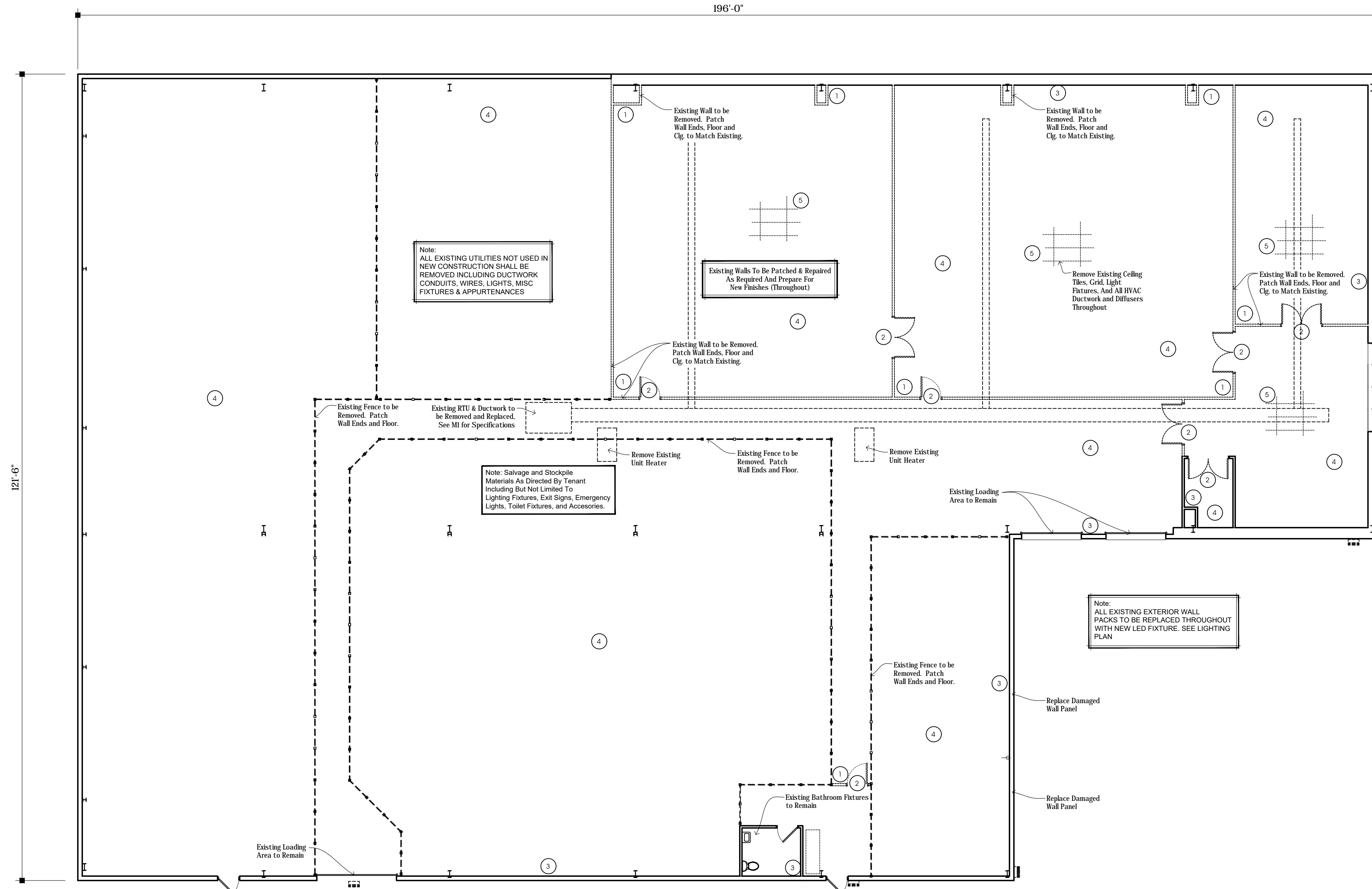
- 1 Remove interior partitions as indicated. Patch and repair floor and adjoining walls and surfaces as required for new construction.
- 2 Remove existing door and frame. Patch and repair adjacent surfaces for new construction.
- 3 All wall surfaces not indicated for demolition shall be preserved during demolition work, patched and repaired and made ready for new material.
- 4 Existing floor finishes to be removed. Patch & repair as required for new finishes.
- 5 Remove existing ceiling tiles and grid

### LEGEND



Note:  
REPLACE EXISTING DAMAGED EXTERIOR METAL WALL PANELS AS REQUIRED THROUGHOUT

Note:  
BIDDERS MUST VISIT SITE



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STORE SPACE

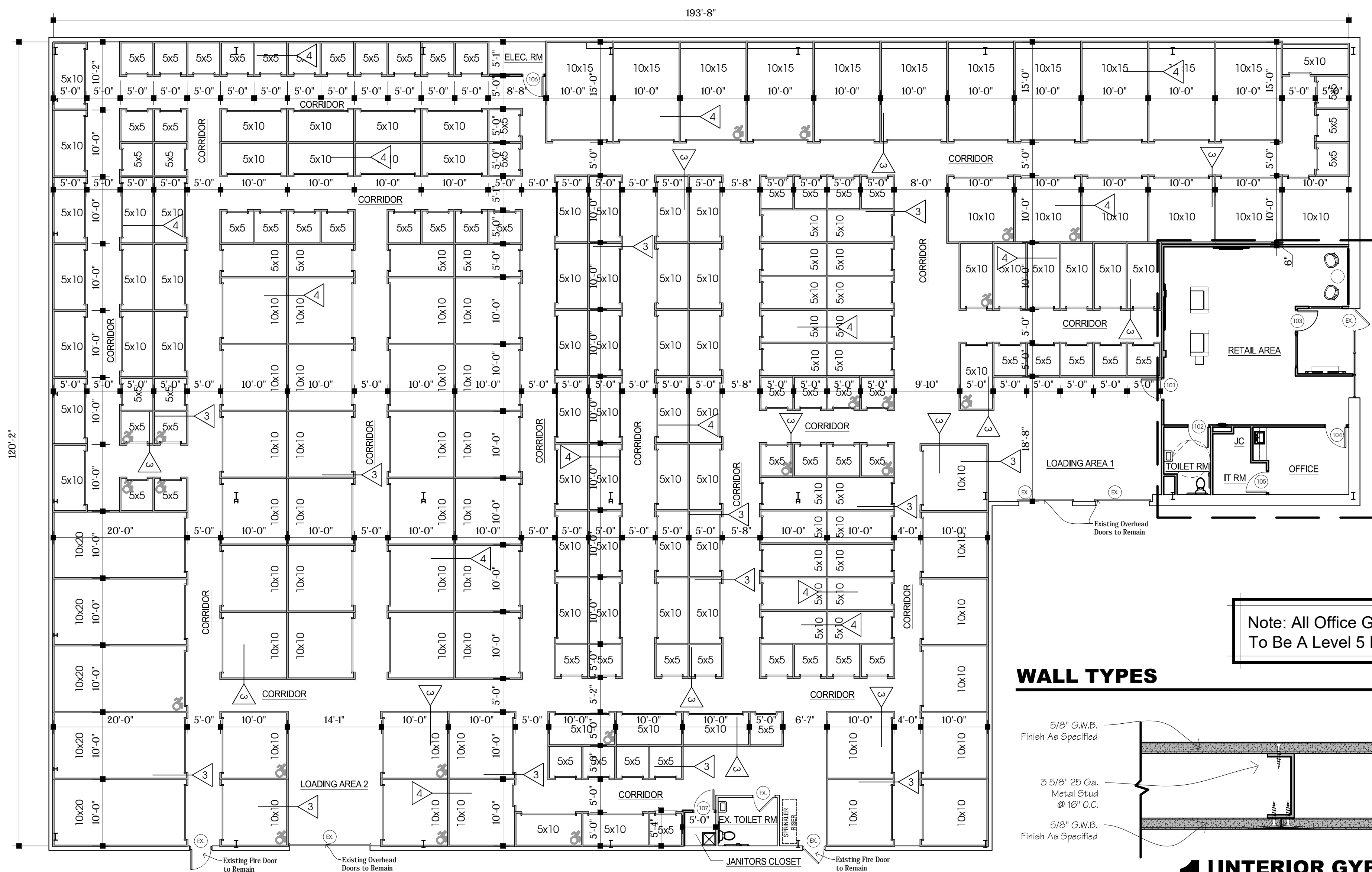
937 E. Haggard Ave.  
Elion, NC

No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22  
DRAWN BY:  
A. Barraclough  
CHECKED BY:  
M. Dean  
SCALE:  
3/32"= 1'-0"

DEMOLITION  
PLAN  
D1.0





**1 FLOOR PLAN**  
3/32"=1'-0"

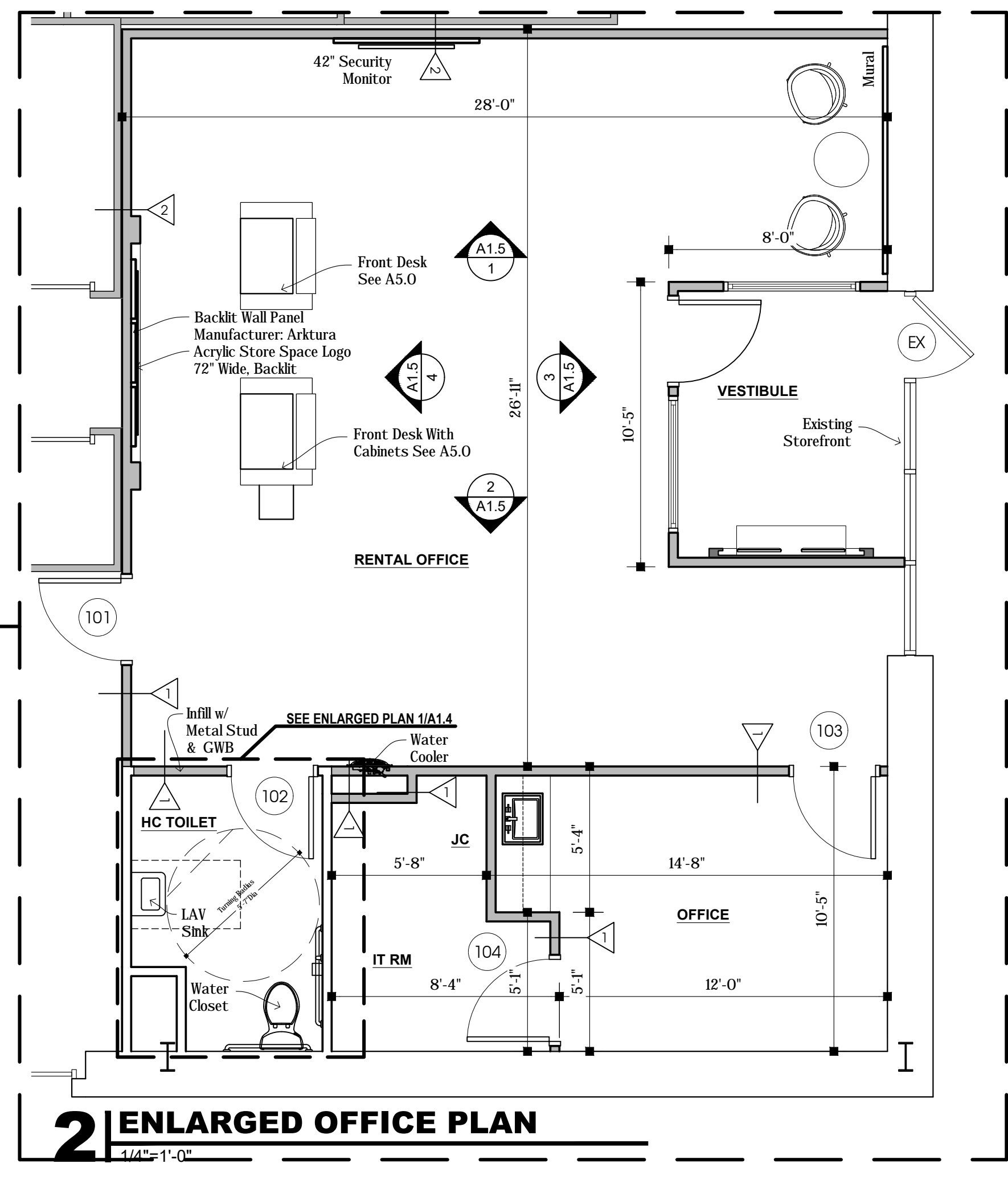
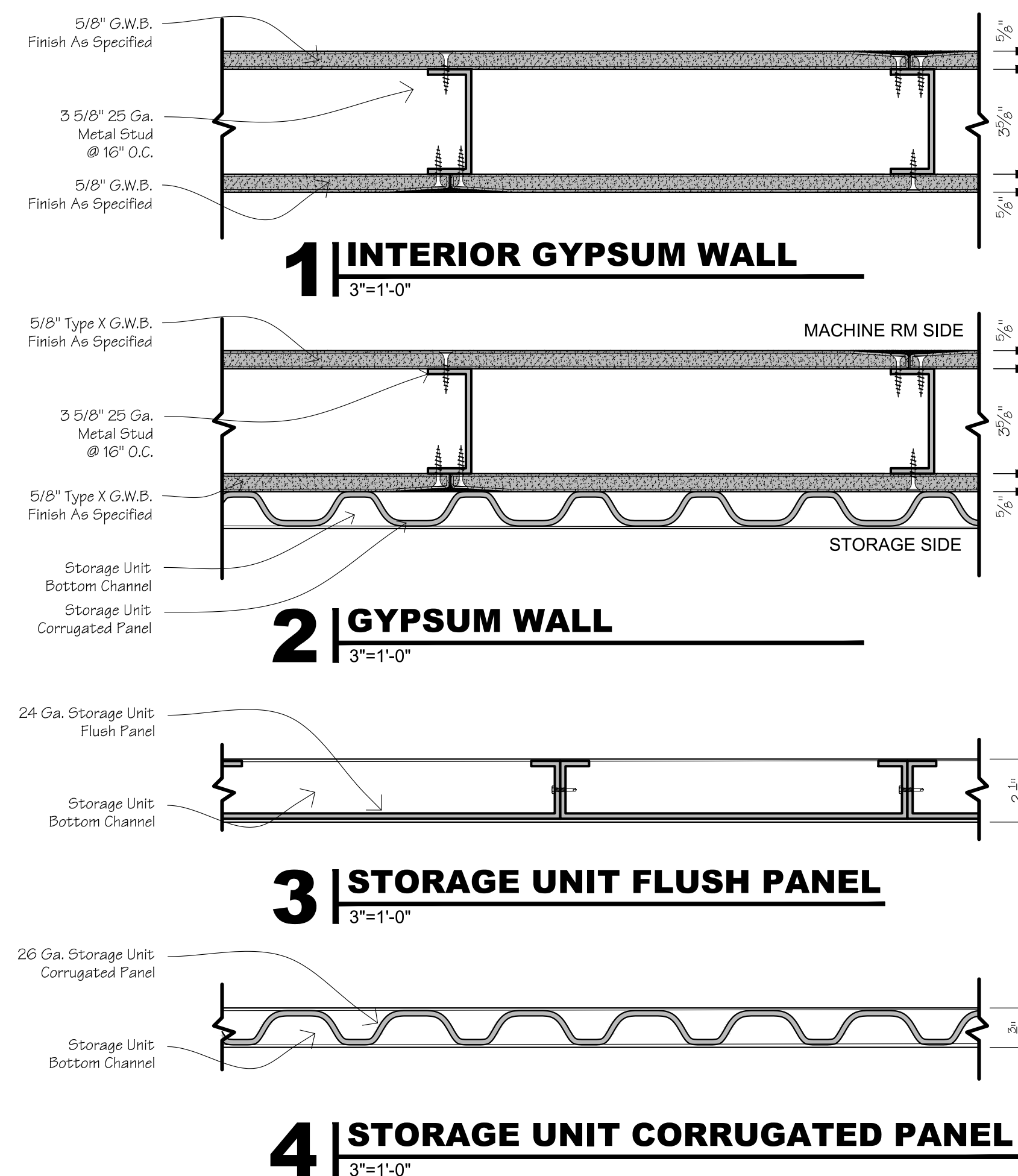
**GENERAL NOTES**

1. Do Not Scale Drawings.
2. The Contractor Shall Verify All Dimensions, Grades, Boundries, And Construction And Immediately Report Any Discrepancies To Owner Before Proceeding With The Work.
3. All Work Shall Conform To The Requirements Of All Local State And Federal Codes. Local, State And Federal Codes Are To Be Taken Precedence Over The Drawings And Specifications. If Discrepancy Is Noted Inform Owner Immediately And Before Proceeding With The Work.
4. All Dimensions, Notes, Finishes And Fixtures Shown On Typical Floor Plans, Sections Or Details Shall Apply To All Similar, Symmetrical Or Opposite Hand Plans, Sections Or Details.
5. All Dimensions Are To Face Stud Or Actual Face Of Masonry Unless Otherwise Noted.
6. All Wood Blocking And Plywood Sheathing To Be Fire Retardant (FRT) In Accordance With Latest AWWA Standards For Plywood And Lumber.
7. The Contractor Shall Follow All Safety Regulations As Recommended By OSHA.
8. The Contractor Shall Confine Operations At The Site To Areas Indicated On The Drawings And Shall Not Encumber The Site With Material And Equipment.
9. Guarantee Material, Equipment And Labor For A Period Of One Year After Owner Acceptance Of Work.
10. Failure To Show Or Mention Minor Details Shall Not Be Warrent For Omission Of Necessary Apputenances For The Normal, Usual And Proper Completion Of The Work.
11. All New Wall And Floor Finishes Shall Be Of Class 'A' Or 'B' And Class '1' Or Class '2' Ratings Respectively, And Shall Be Installed Per The Manufacturers Instructions.

**LEGEND**

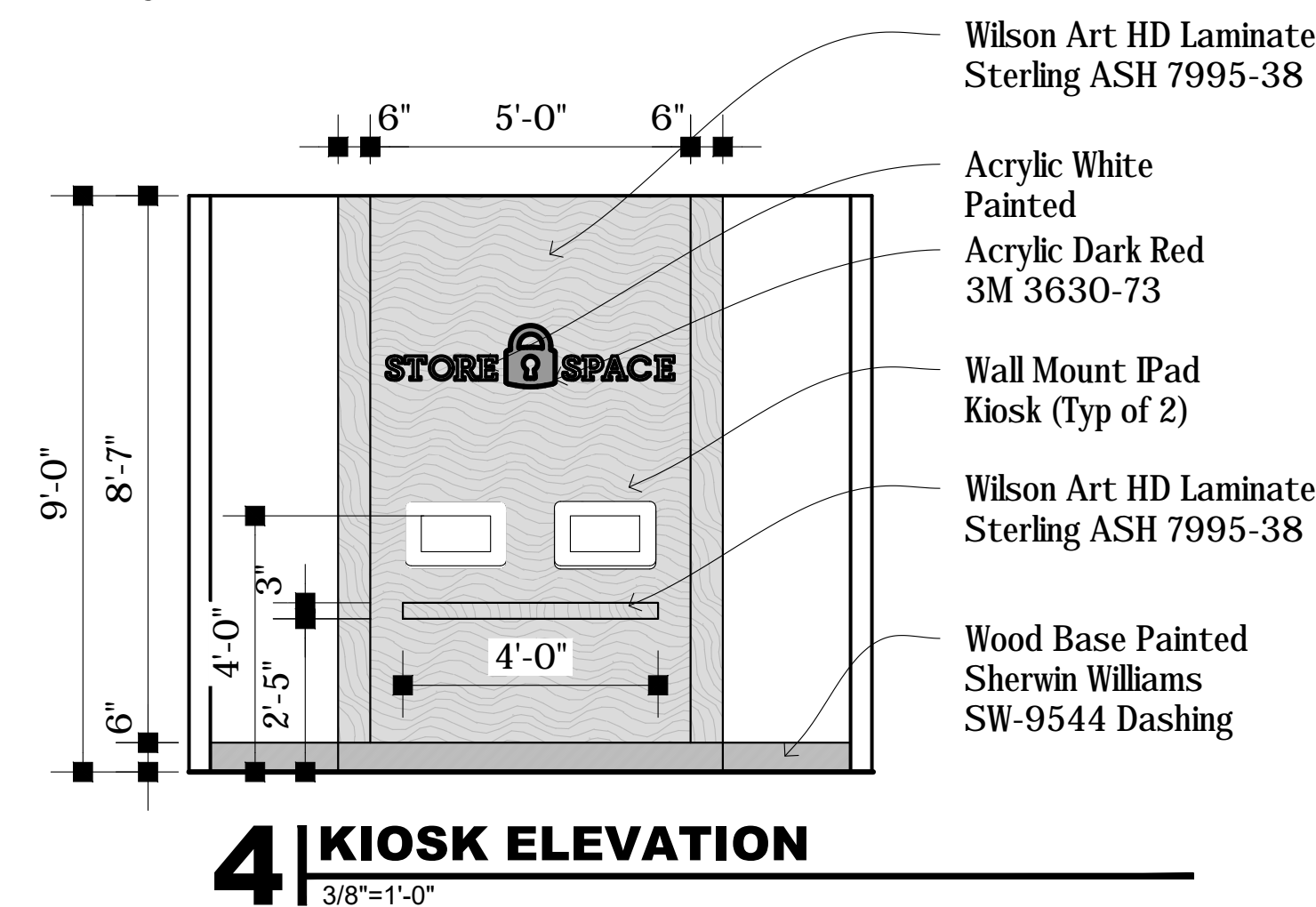
- TYP. INTERIOR WALL
- NEW DOOR
- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW DOOR NUMBER
- ROOM NUMBER
- WALL MOUNTED FIRE EXTINGUISHER
- WALL TYPE INDICATOR SEE SHEETS A1.6 & A1.7 FOR WALL TYPE DETAILS

**WALL TYPES**

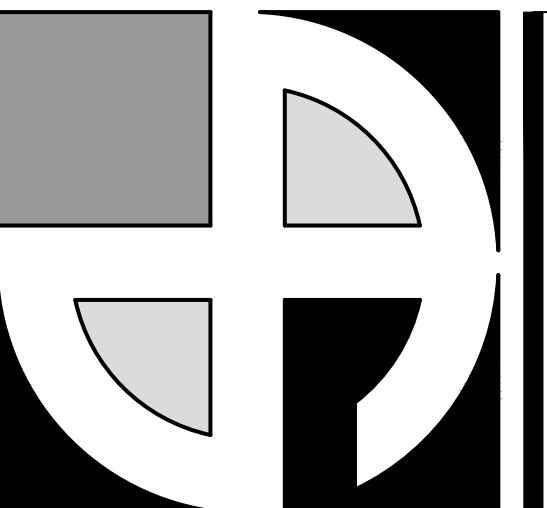


**2 ENLARGED OFFICE PLAN**  
1/4"=1'-0"

1. These notes are intended for use in conjunction with the specifications. Refer to the specifications for additional information.
2. Gypsum board nomenclature generally refers to products of United States Gypsum Company. Other gypsum products of similar and equivalent nature will be acceptable when differences do not materially detract from the design concept or the intended performances.
3. Install acoustical sealant in accordance with manufacturer's recommendations. Caulking the perimeter of partitions, opening, outlet box openings, and cut-outs in all partitions designated to receive acoustical insulation.
4. Maximum partition height: Do not exceed manufacturer's recommendations for spacing and stud gauge for L/240 deflection. Where scheduled partition type does not meet requirements, increase stud gauge, decrease spacing, or provide bracing above ceiling to meet deflection criteria.
5. Provide double studs at all jambs.
6. Provide solid lateral bracing in metal stud walls at 48" O.C. maximum or at wall mid-span, whichever is less, lateral bracing shall be field cut runner with H/2 x 20 Ga. strap or H/2" cold rolled channel placed through stud web holes and welded to both sides of channel. Lateral bracing shall be installed immediately after the studs are erected.
7. Where walls transition from one wall type to another, the studs shall be aligned to provide for a flush and smooth finished surface.



**4 KIOSK ELEVATION**  
3/8"=1'-0"



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**22-238**

**STORE SPACE**

937 E. Haggard Ave.  
Elion, NC

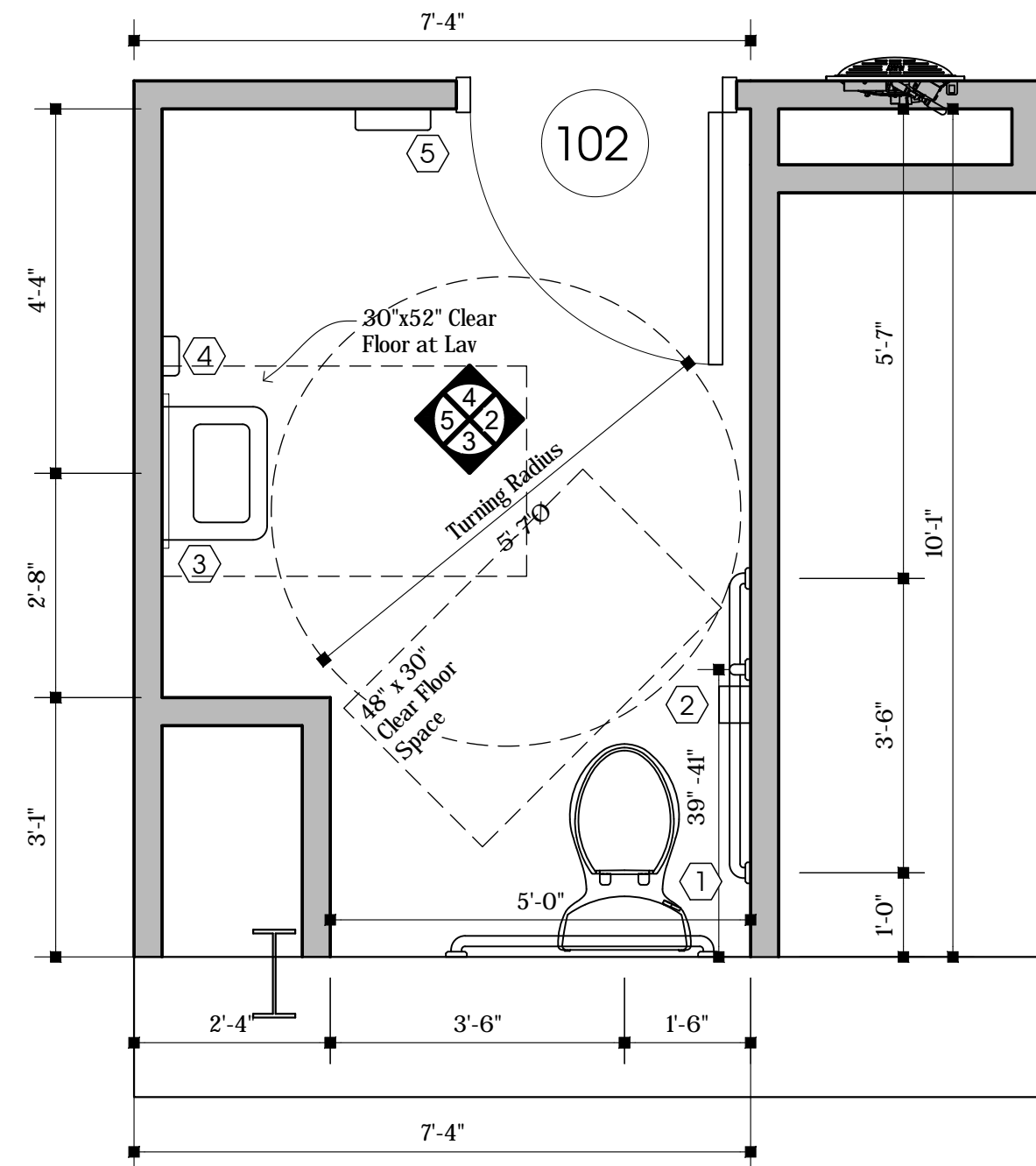
No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22  
DRAWN BY:  
A. Barraclough  
CHECKED BY:  
M. Dean  
SCALE:  
3/32"= 1'-0"

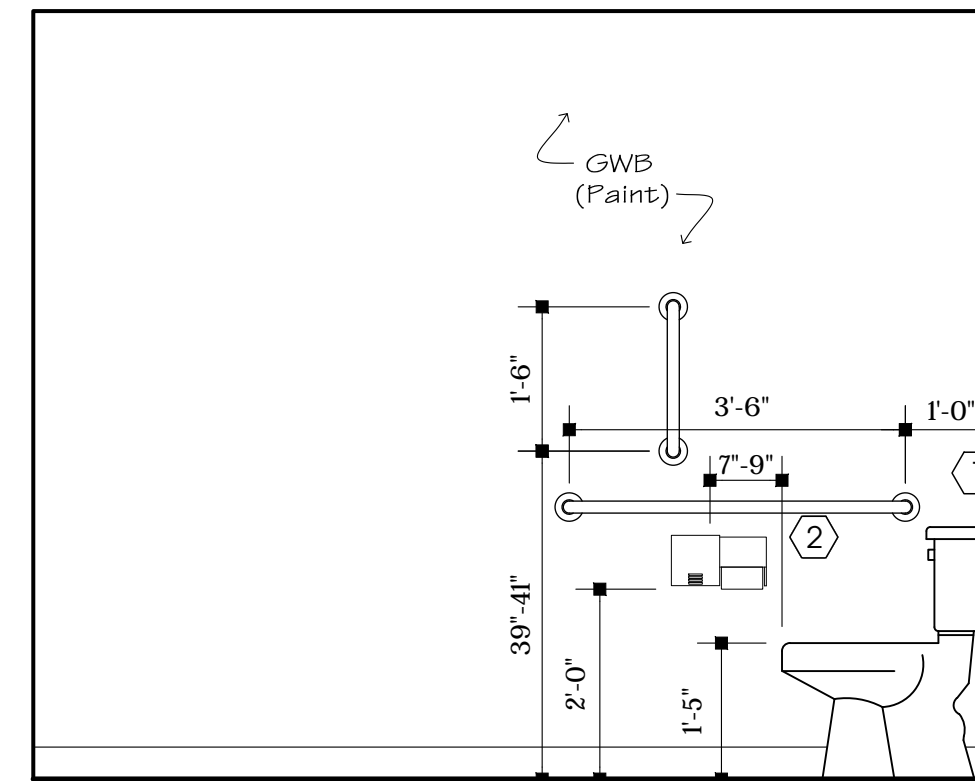
FLOOR PLAN

**A1.0**

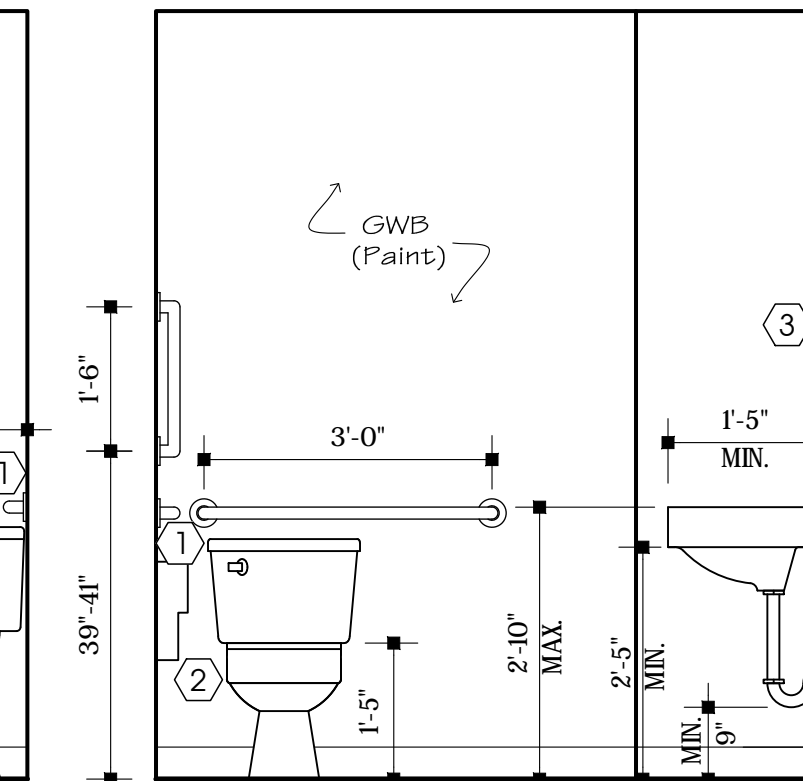




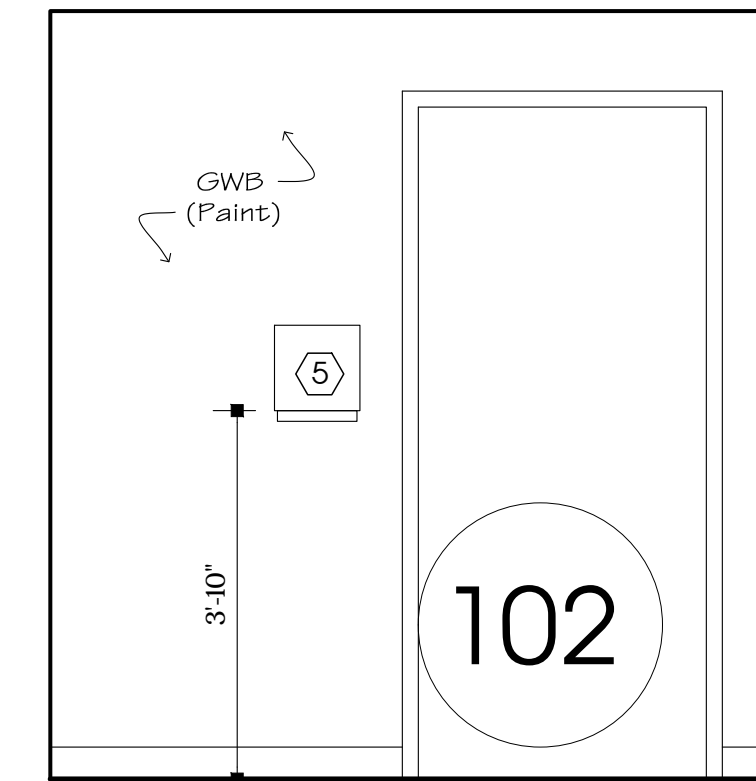
**1 UNISEX TOILET ROOM**  
1/2"=1'-0"



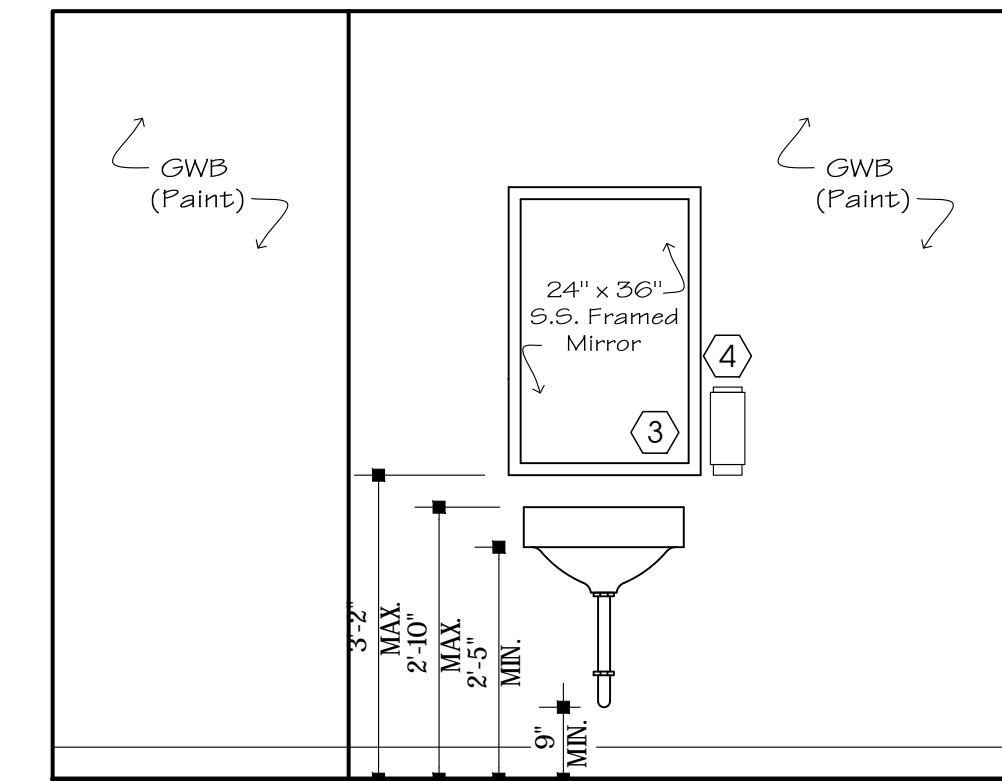
**2 ELEVATION**  
1/2"=1'-0"



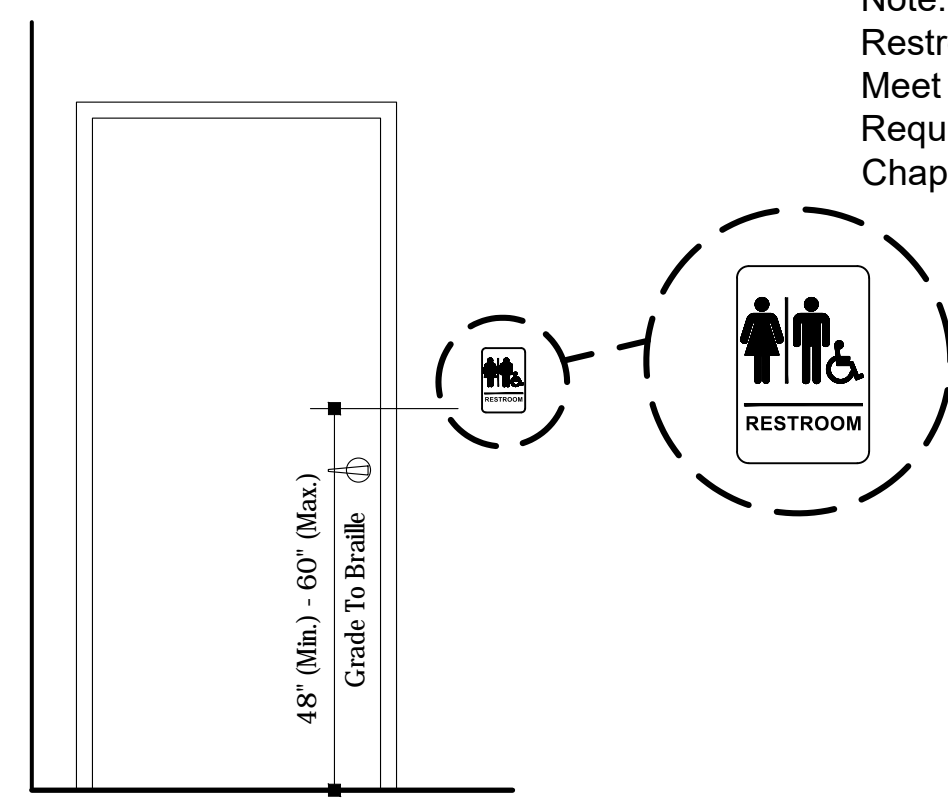
**3 ELEVATION**  
1/2"=1'-0"



**4 ELEVATION**  
1/2"=1'-0"

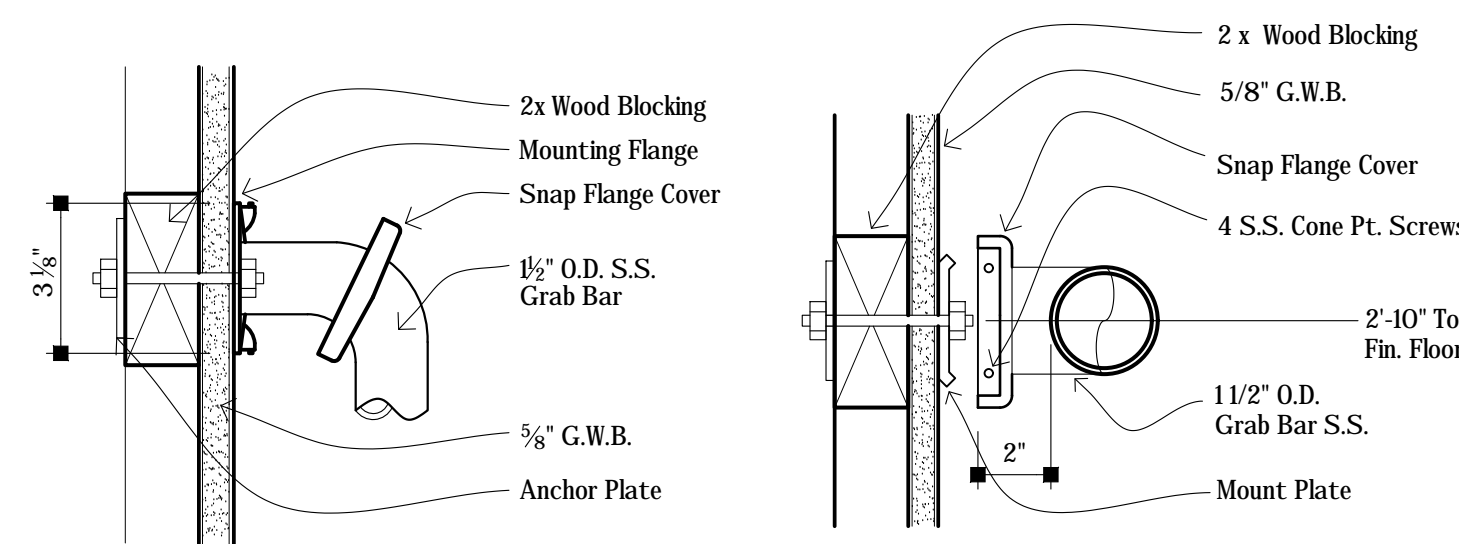


**5 ELEVATION**  
1/2"=1'-0"

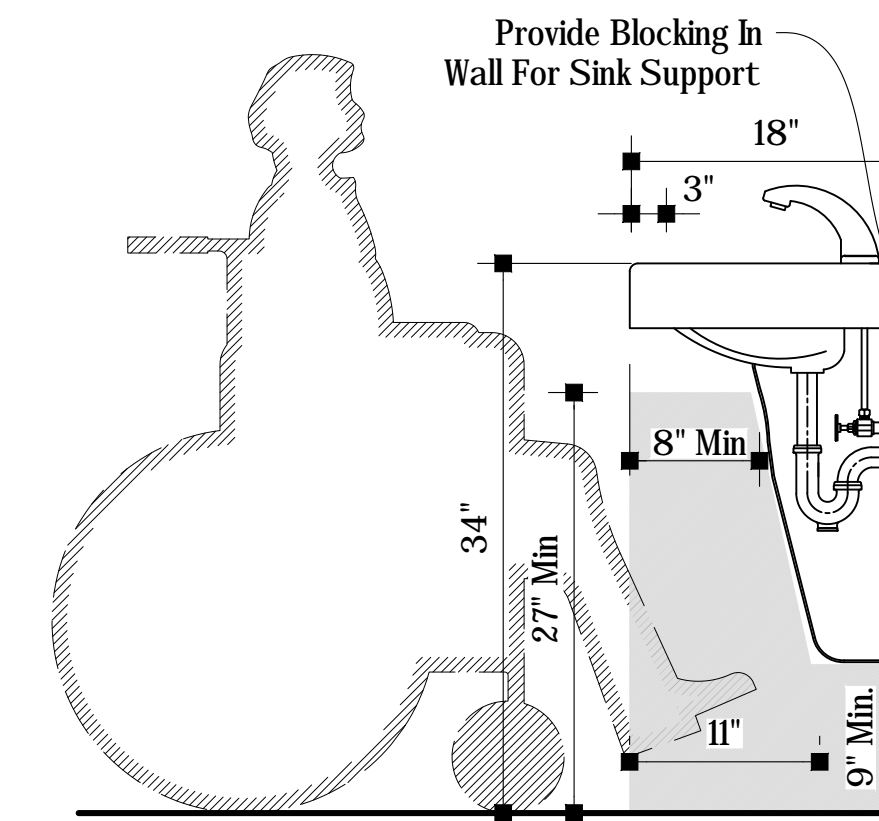


**6 ELEVATION**  
1/2"=1'-0"

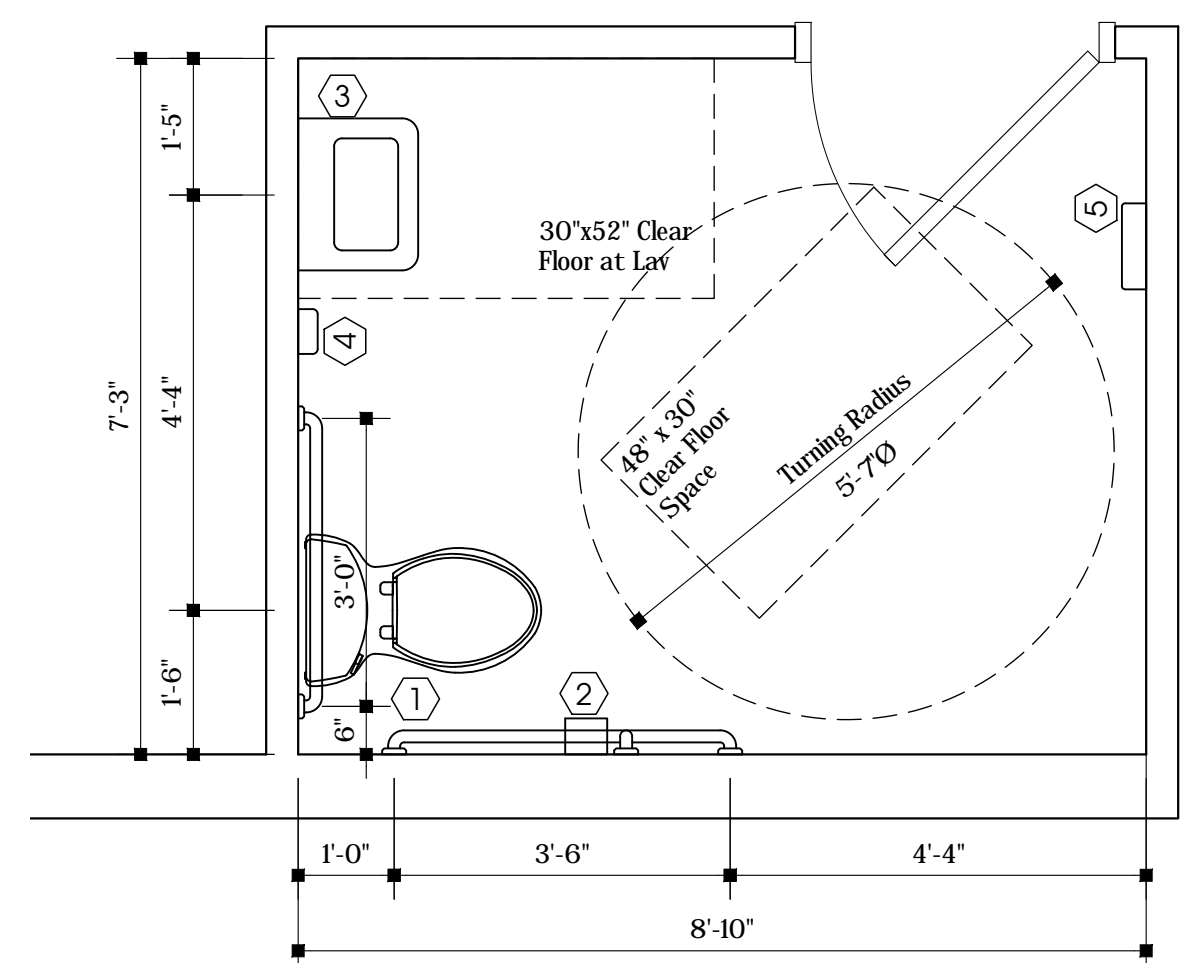
Note:  
Restroom Sign To  
Meet Minimum  
Requirements Of  
Chapter 7 ANSI A117



**7 GRAB BAR DETAILS**  
3"=1'-0"



**8 LAV SINK DETAIL**  
1"=1'-0"



**9 EXISTING TOILET ROOM**  
1/2"=1'-0"

Toilet Accessories						
No.	Qty.	Item	Manuf	Model #	Description	Finish
1	2	Grab Bars	Bobrick	B-580x36	Concealed Mounting w/4 Screws	S.S. Peened Grip
	2			B-580x42		
	2			B-580x18		
2	2	Toilet Tissue Disp.	Cintas	Signature Series	Toilet Paper Dispenser	Color to Be Selected
3	2	Mirror	Bobrick	B-290-2436	Stainless Steel Welded Frame Mirror	S.S.
4	2	Soap Dispenser	Cintas	Signature Series	Automatic Soap Dispenser	Color to Be Selected
5	2	Towel Dispenser	Cintas	Signature Series	Automatic Paper Towel Dispenser	

All Toilet Room Accessories Shall Conform To Requirements Of ANSIA117



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**22-238**

**STORE SPACE**

937 E. Haggard Ave.  
Elon, NC

No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22  
DRAWN BY:  
A. Barraclough  
CHECKED BY:  
M. Dean  
SCALE:  
3/32"= 1'-0"

ENLARGED  
BATHROOM PLAN


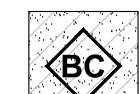



**A1.1**



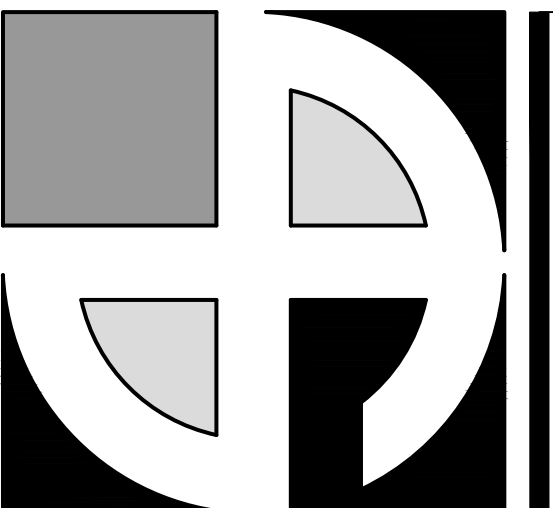


**1 UNIT MIX PLAN**  
3/32"=1'-0"

**LEGEND**

-  - 5x5 Unit
-  - 5x10 Unit
-  - 10x10 Unit
-  - 10x15 Unit
-  - 10x20 Unit

BUILDING 2 UNIT MIX SCHEDULE						
Gross SF: 20,348	5x5	5x10	10x10	10x15	10x20	Total
Unit Quantity	64	87	44	11	5	211
SF Per Unit	25	50	100	150	200	
Total SF	1600	4350	4400	1650	1000	13,000
Unit Percentage	30.33%	41.23%	20.85%	5.21%	2.37%	61.6
SF Percentage	12.31%	33.46%	33.85%	12.69%	7.69%	63.89%
<b>ACCESSIBLE UNITS</b>						
	5x5	5x10	10x10	10x15	10x20	Total
Unit Quantity	8	4	6	2	1	21



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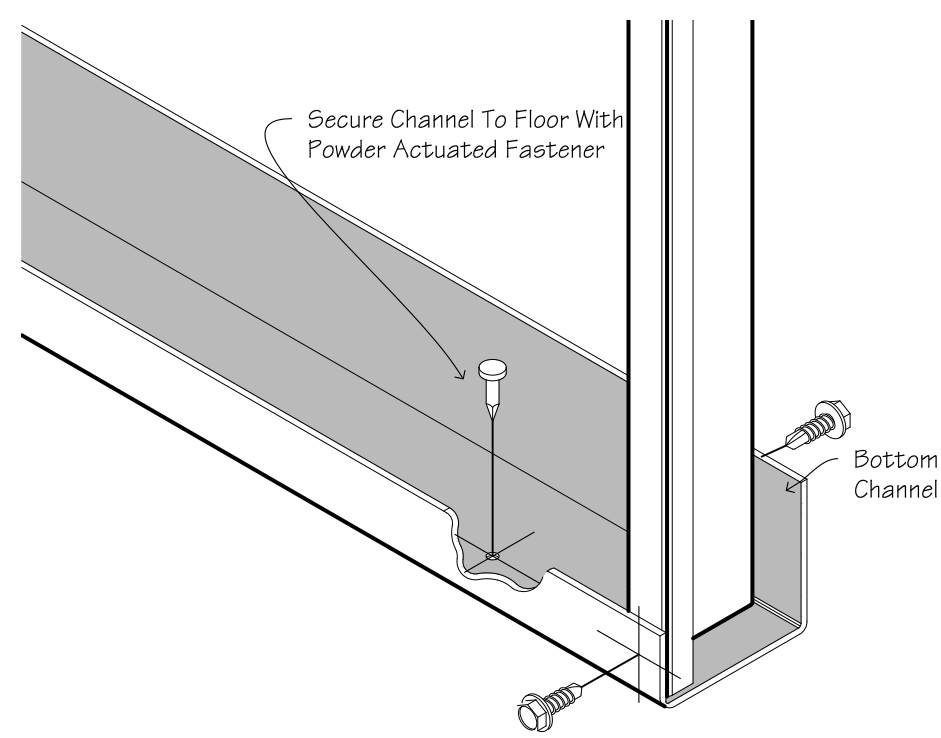
No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22  
DRAWN BY:  
A. Barraclough  
CHECKED BY:  
M. Dean  
SCALE:  
3/32"= 1'-0"

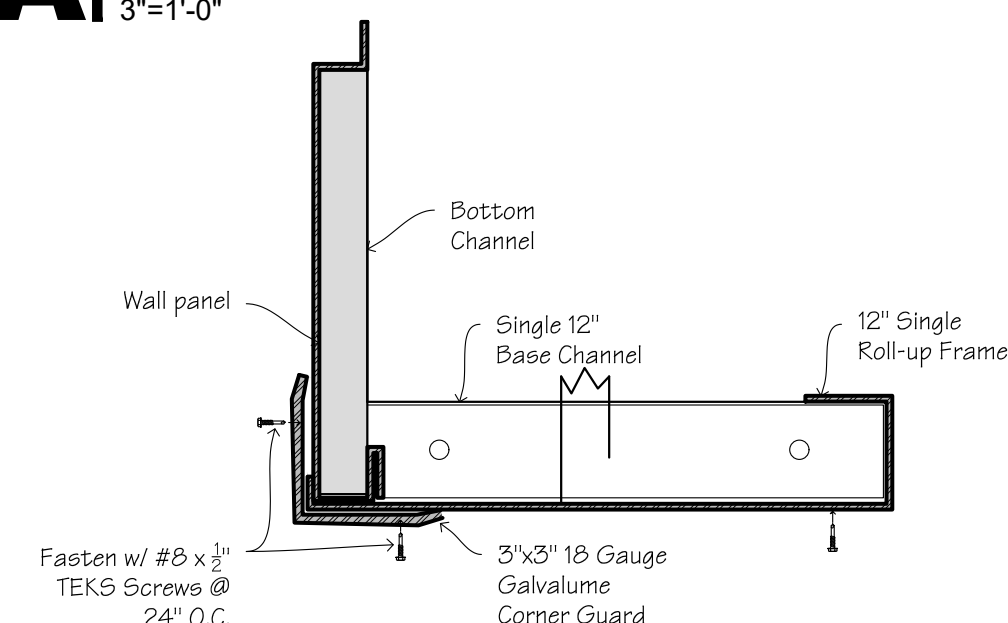
UNIT MIX PLANS

**A1.2**

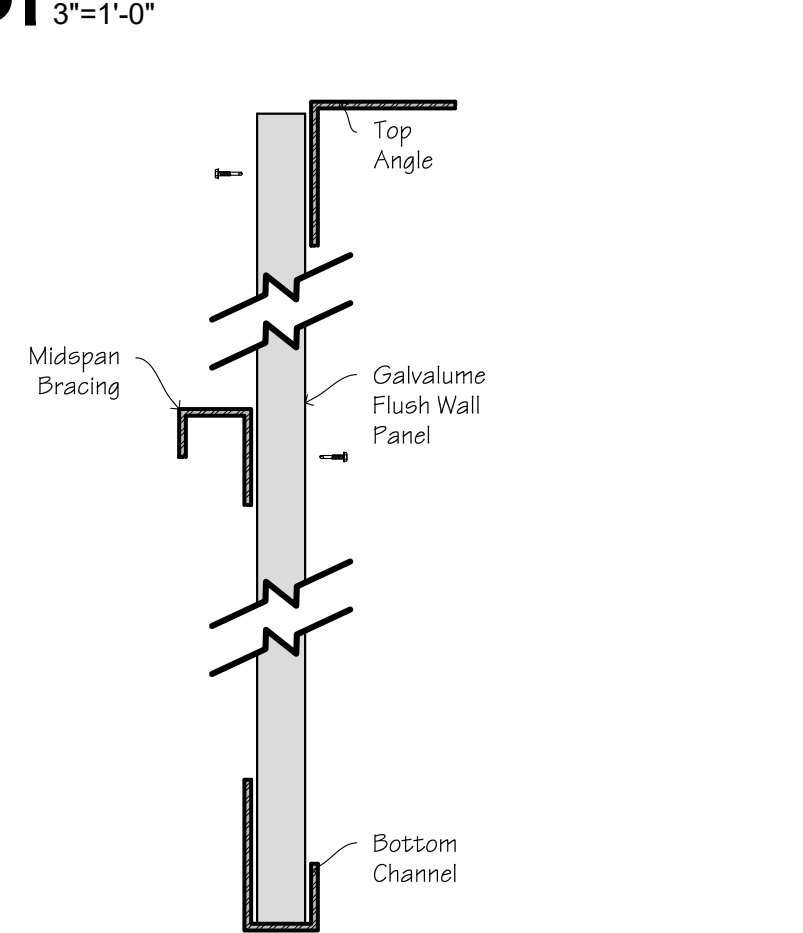




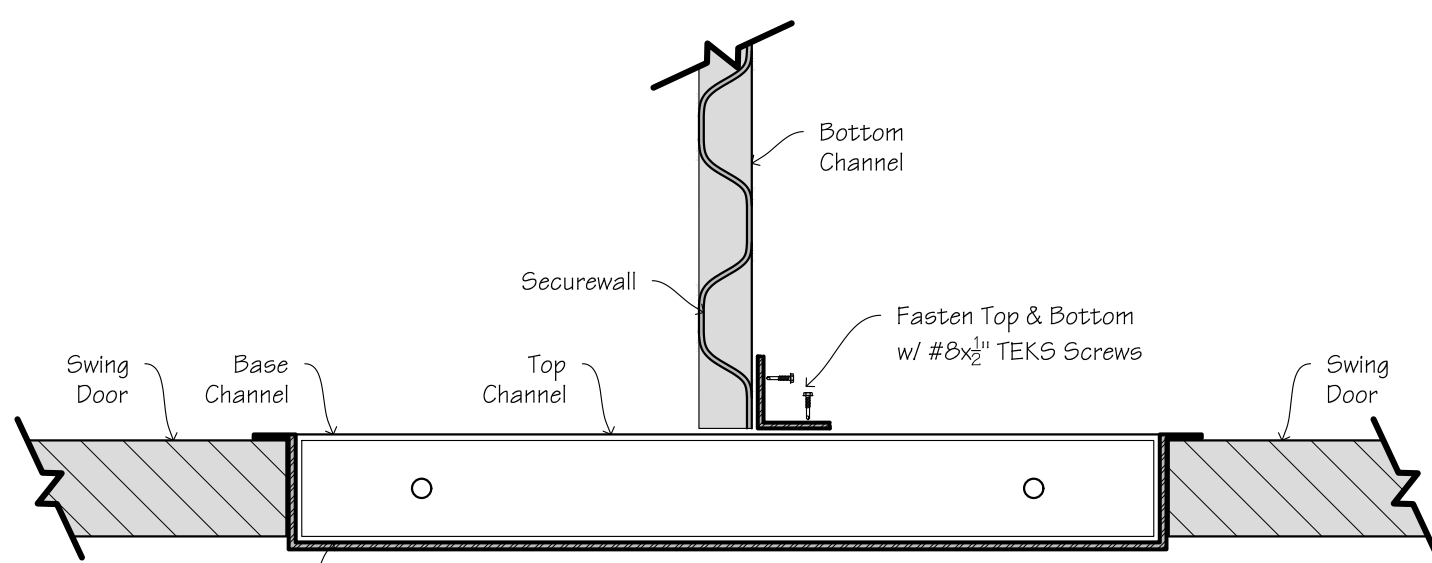
**A | Base Mounting**  
3"=1'-0"



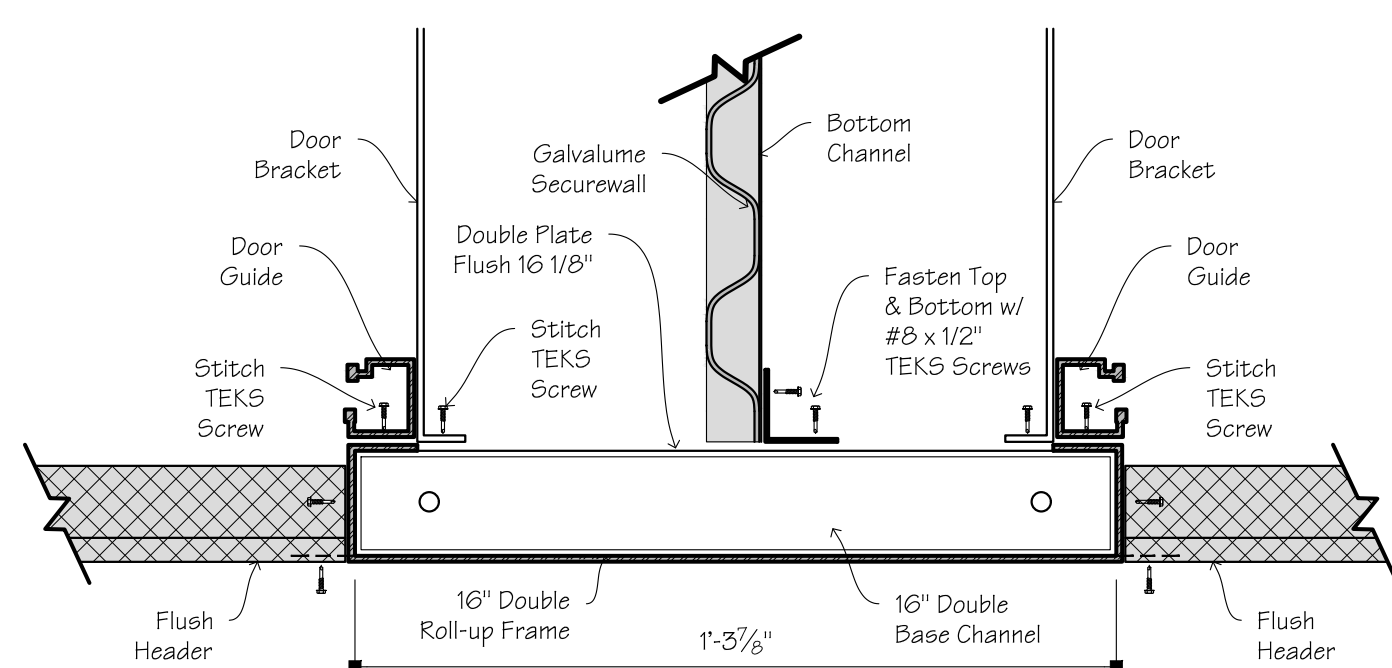
**B | Outside Corner**  
3"=1'-0"



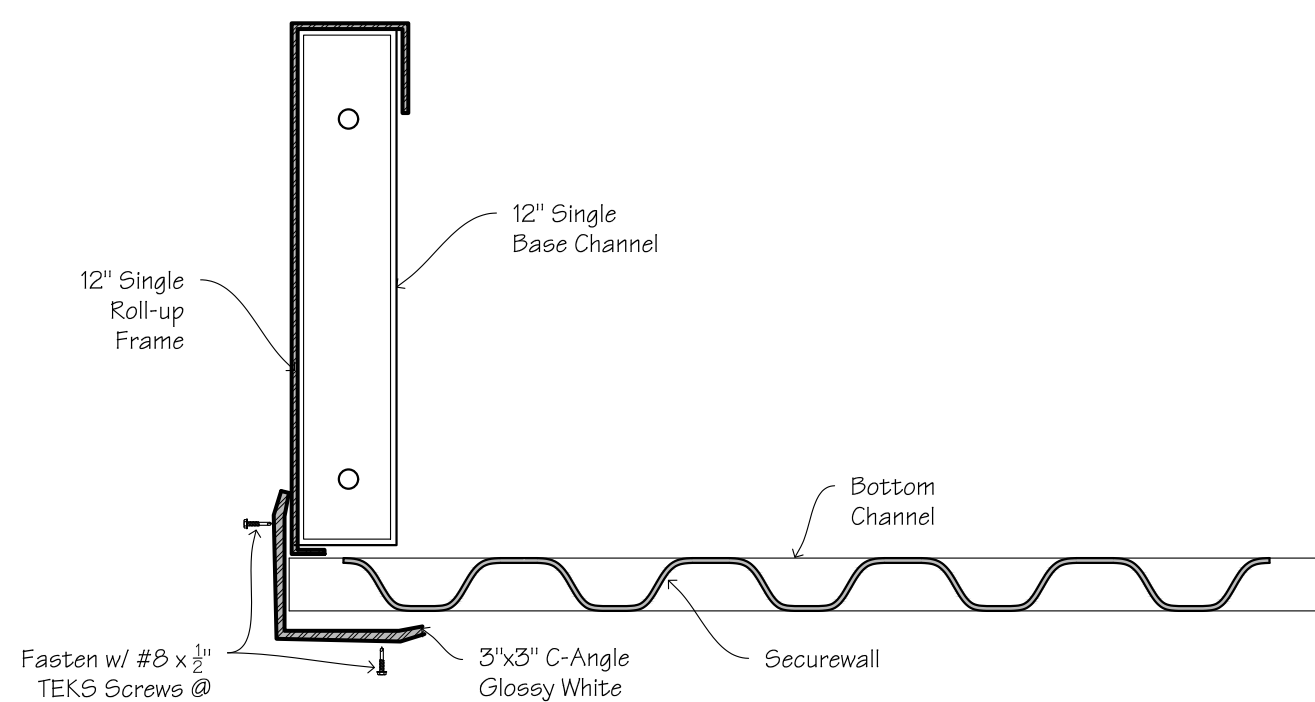
**C | Typical Wall Construction**



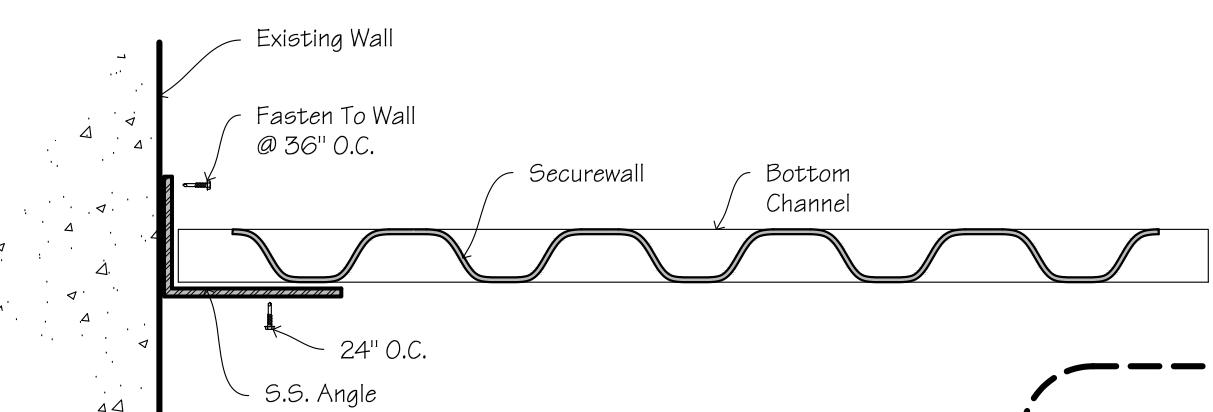
**Swing Door**



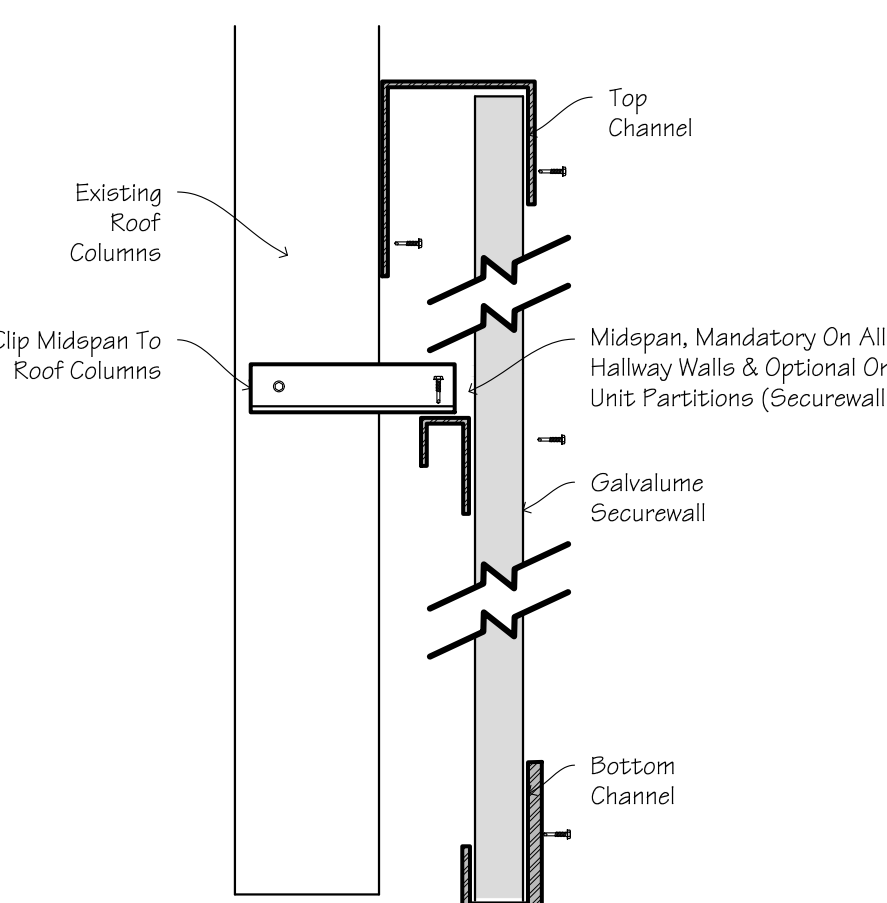
**D | Double Roll Up Door**



**F | Corner Connection**



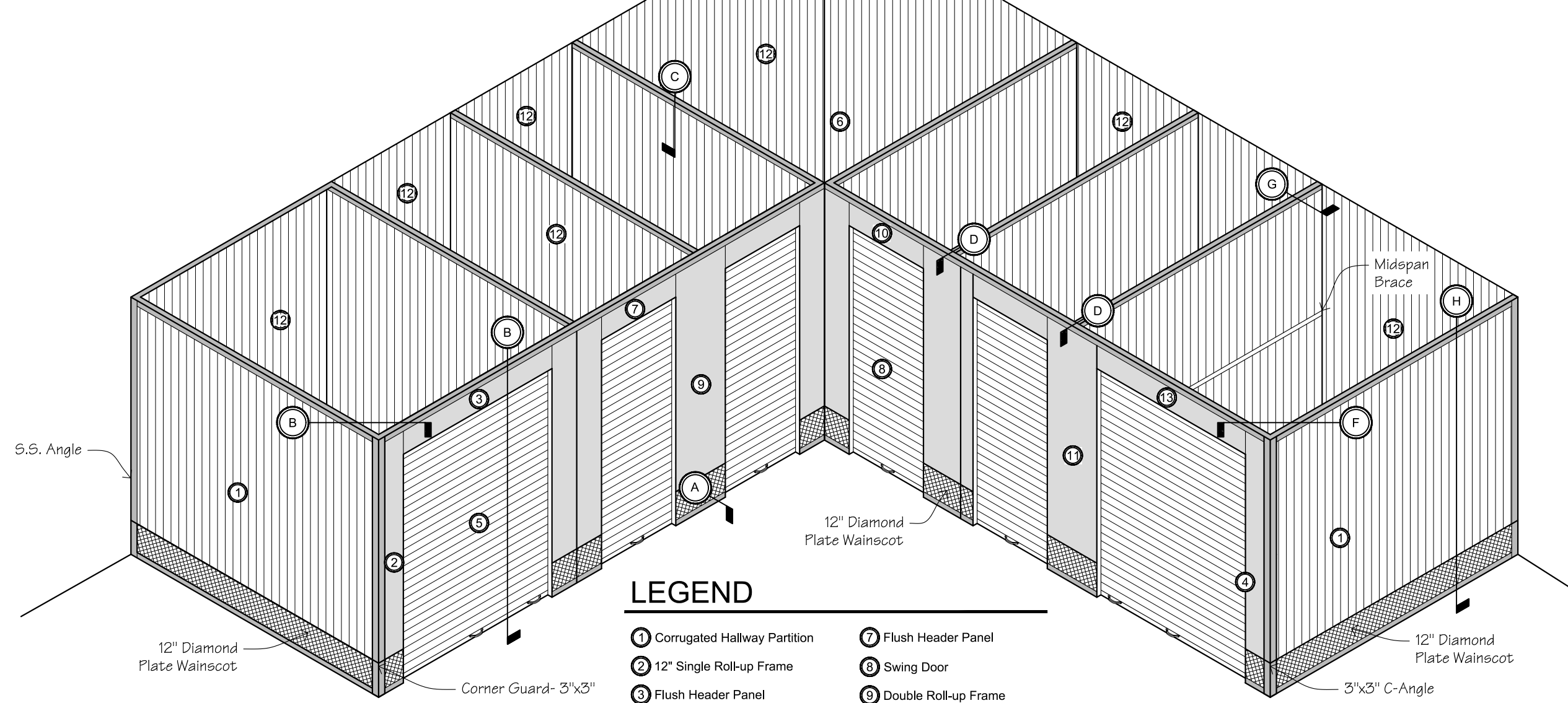
**G | Wall Connection**



**H | Secure Connection**

**Note:**  
ALL INTERIOR CORRUGATED UNIT WALLS TO EXTEND TO UNDER SIDE OF ROOF PURLIN

**UNIT DOOR HARDWARE**  
Janus JBI CTS NHSS Stainless Steel  
(No Padlock Holes, Cylinder Only)  
  
Janus JBI CTS NHYZ Yellow Zinc  
(No Padlock, Cylinder Only)



**1 | HALLWAY SYSTEM**

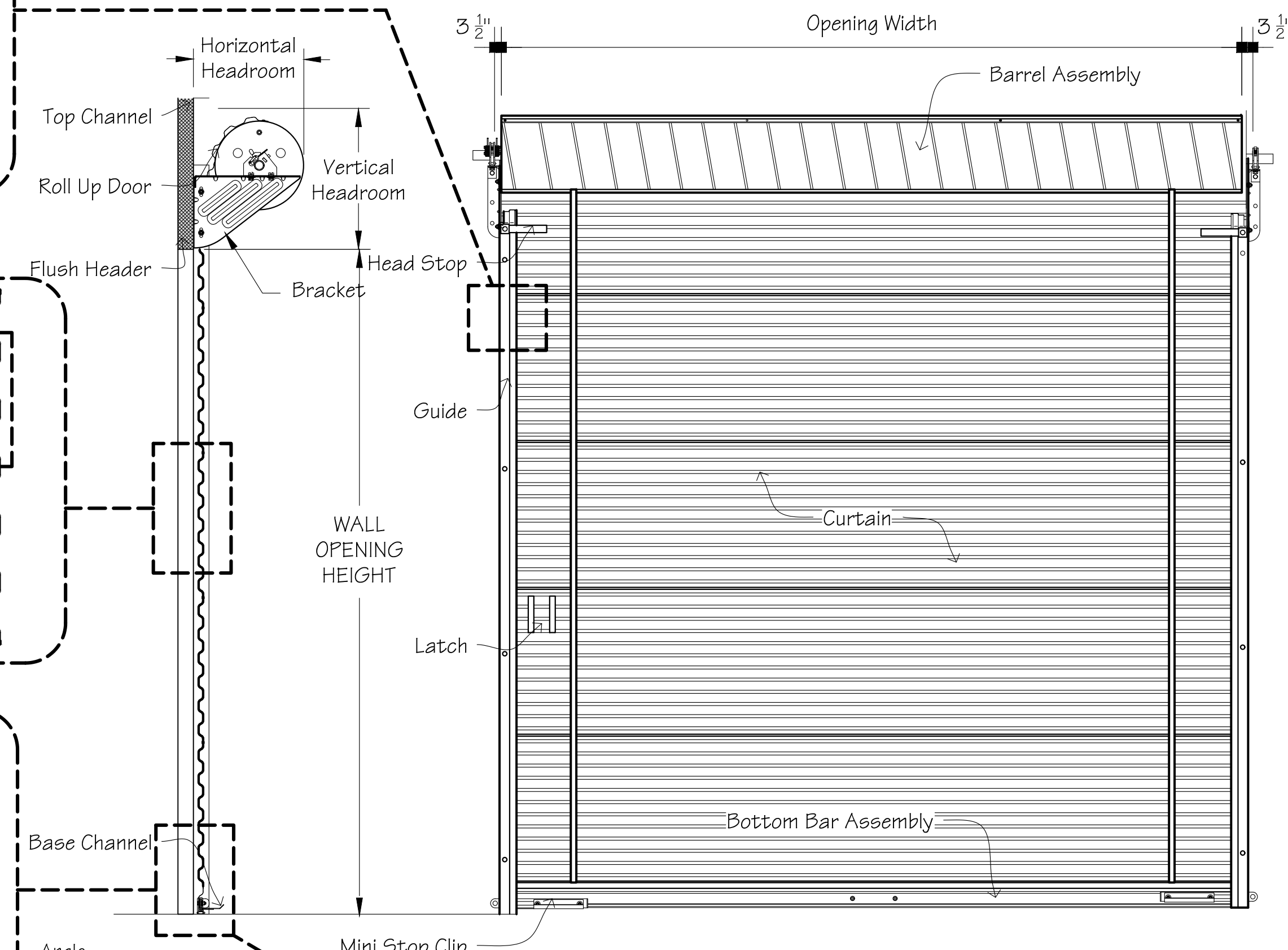
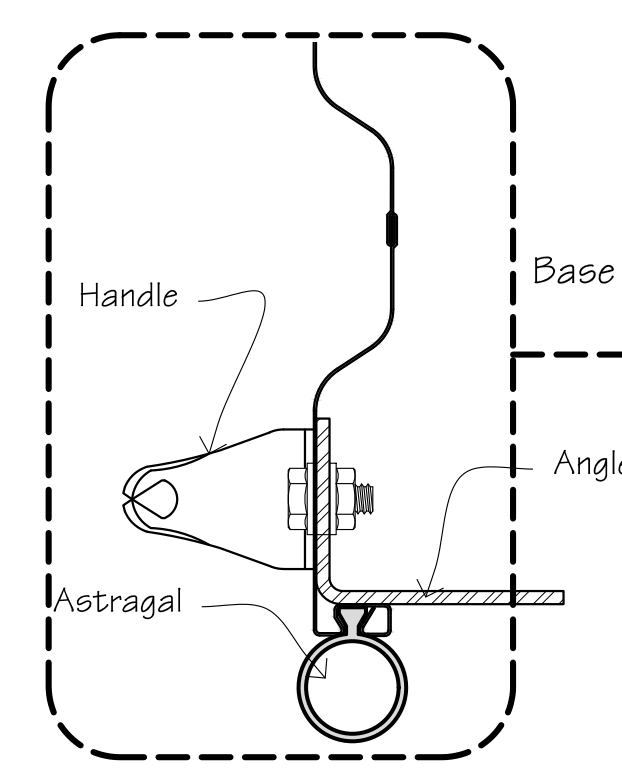
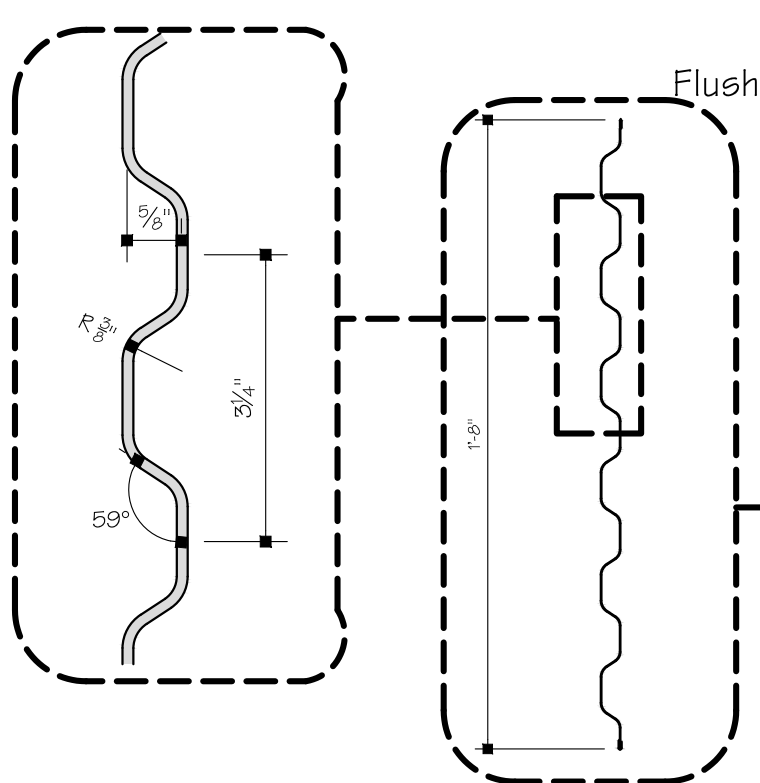
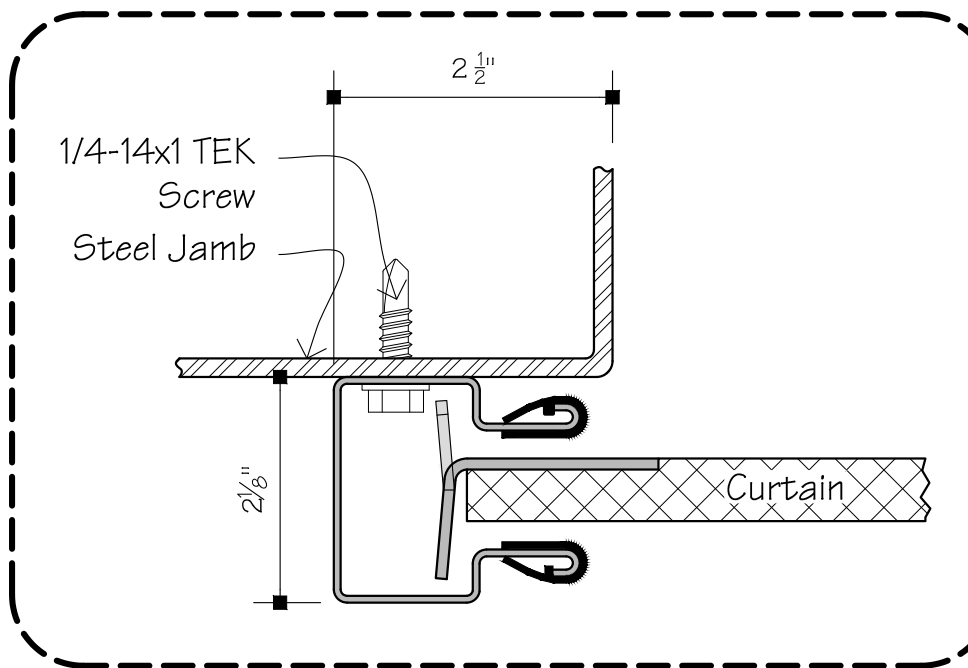
**LEGEND**

- Ⓐ Corrugated Hallway Partition
- Ⓑ 12" Single Roll-up Frame
- Ⓒ Flush Header Panel
- Ⓓ 8" Single Roll-up Frame
- Ⓔ Roll-up Door
- Ⓕ System Vertical Frame
- Ⓖ Flush Header Panel
- Ⓗ Double Roll-up Frame
- Ⓘ Swing Door Header
- Ⓜ 16" Double Roll-up Frame Interior Wall Partition (Corrugated)
- Ⓝ Swing Door
- Ⓞ Double Roll-up Frame
- Ⓟ Swing Door Header
- Ⓠ 16" Double Roll-up Frame Interior Wall Partition (Corrugated)

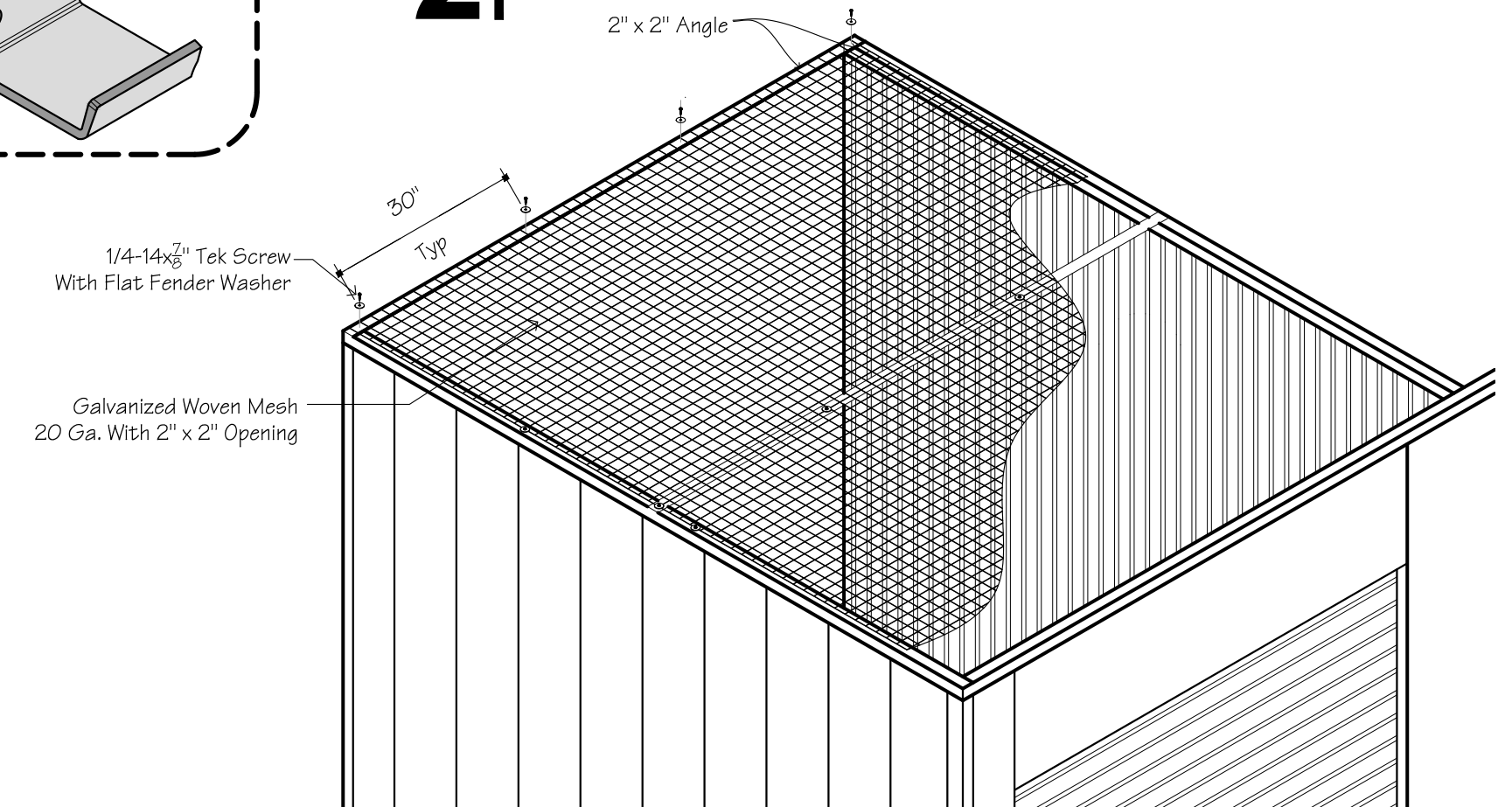
UNIT WALL HEIGHT TO BE 8'-4" HIGH

Provide 4'-0" High Diamond Plate Wainscot @ Entry & Loading Area Walls

Standard Wall Assembly Details, Refer To Floor Plan For Specific Layout Information



**2 | ROLLING DOOR**



**3 | Wire Mesh Cover**



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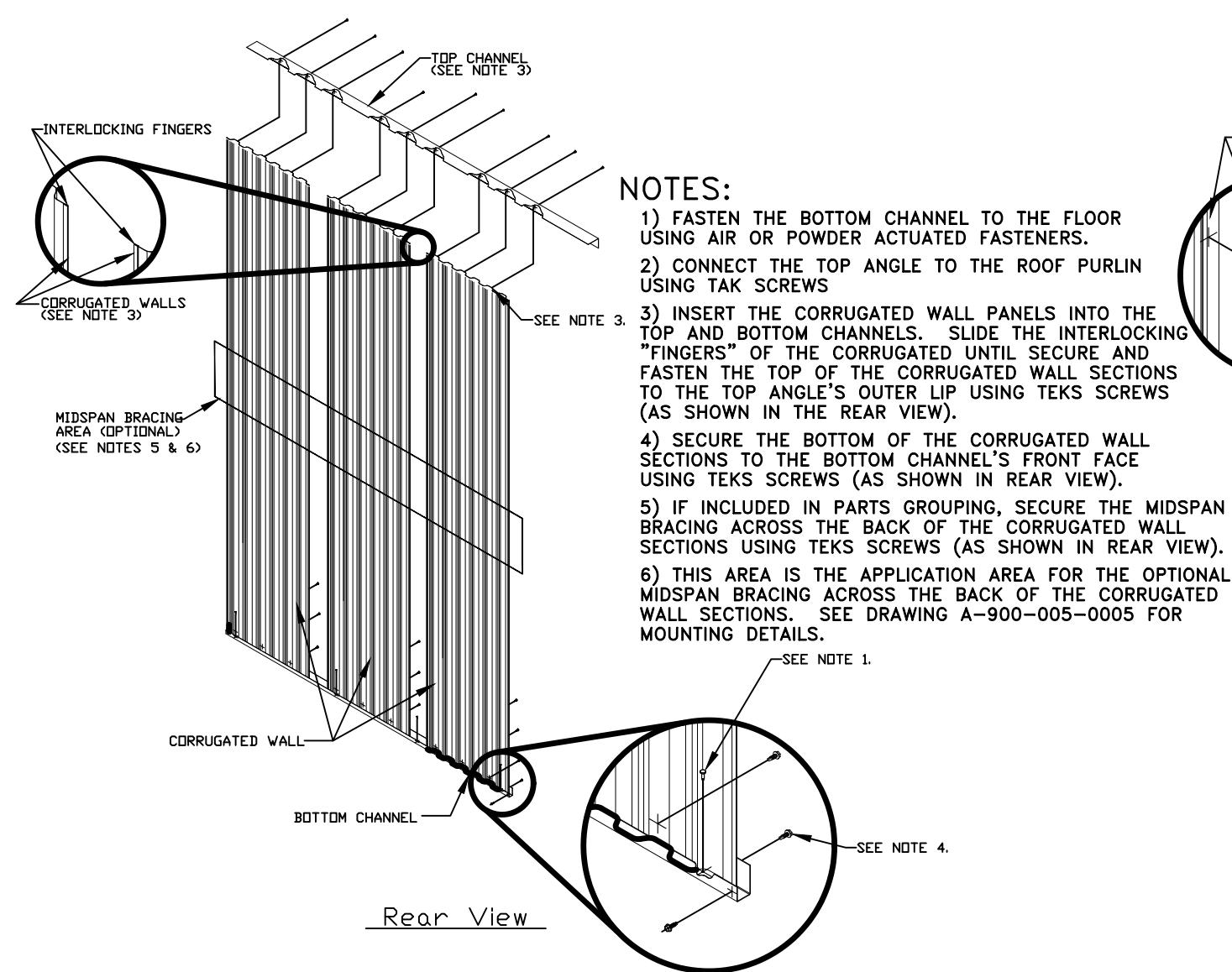
No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE: 9-3-22  
DRAWN BY: A. Barraclough  
CHECKED BY: M. Dean  
SCALE: NTS

STORAGE UNIT DETAILS

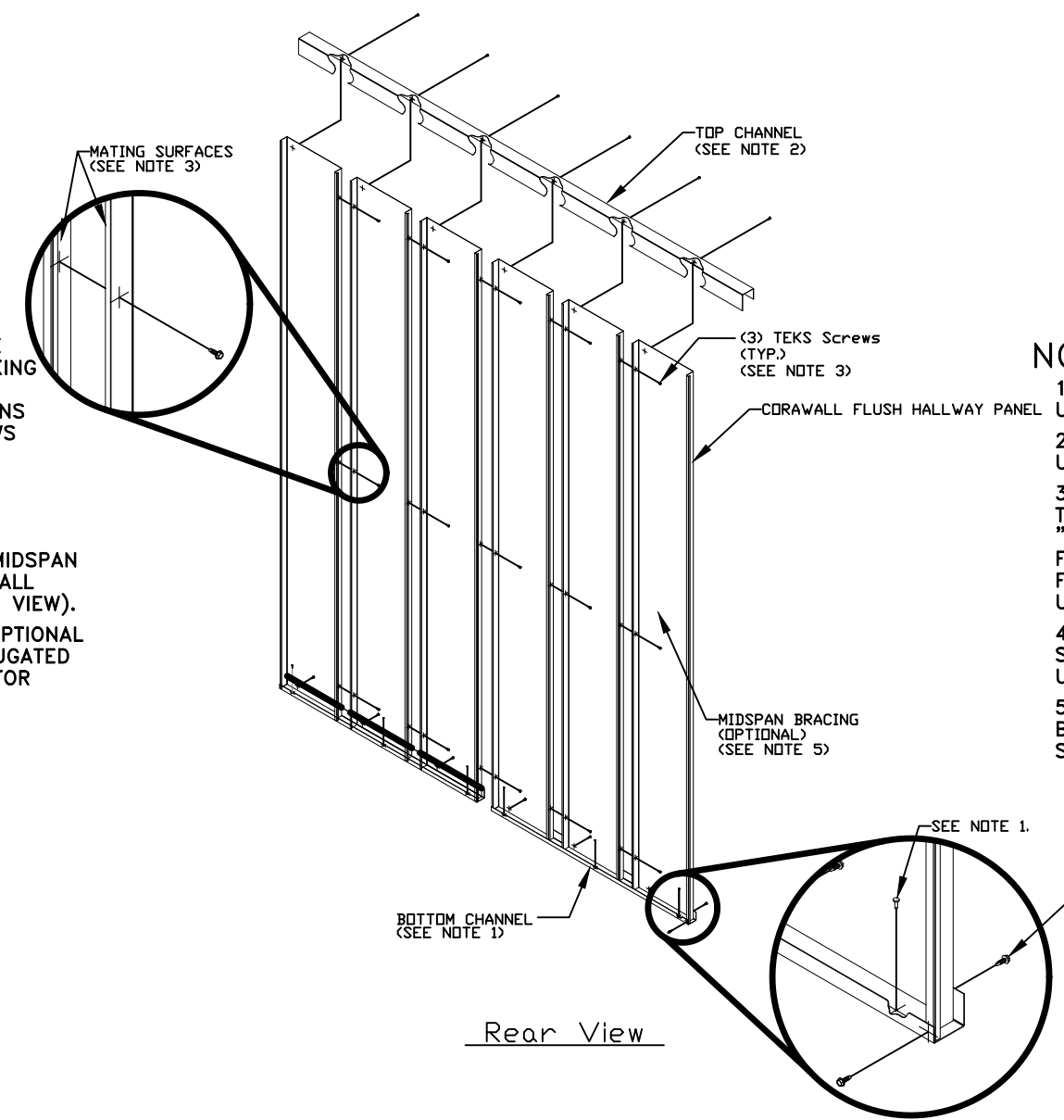
**A1.3**





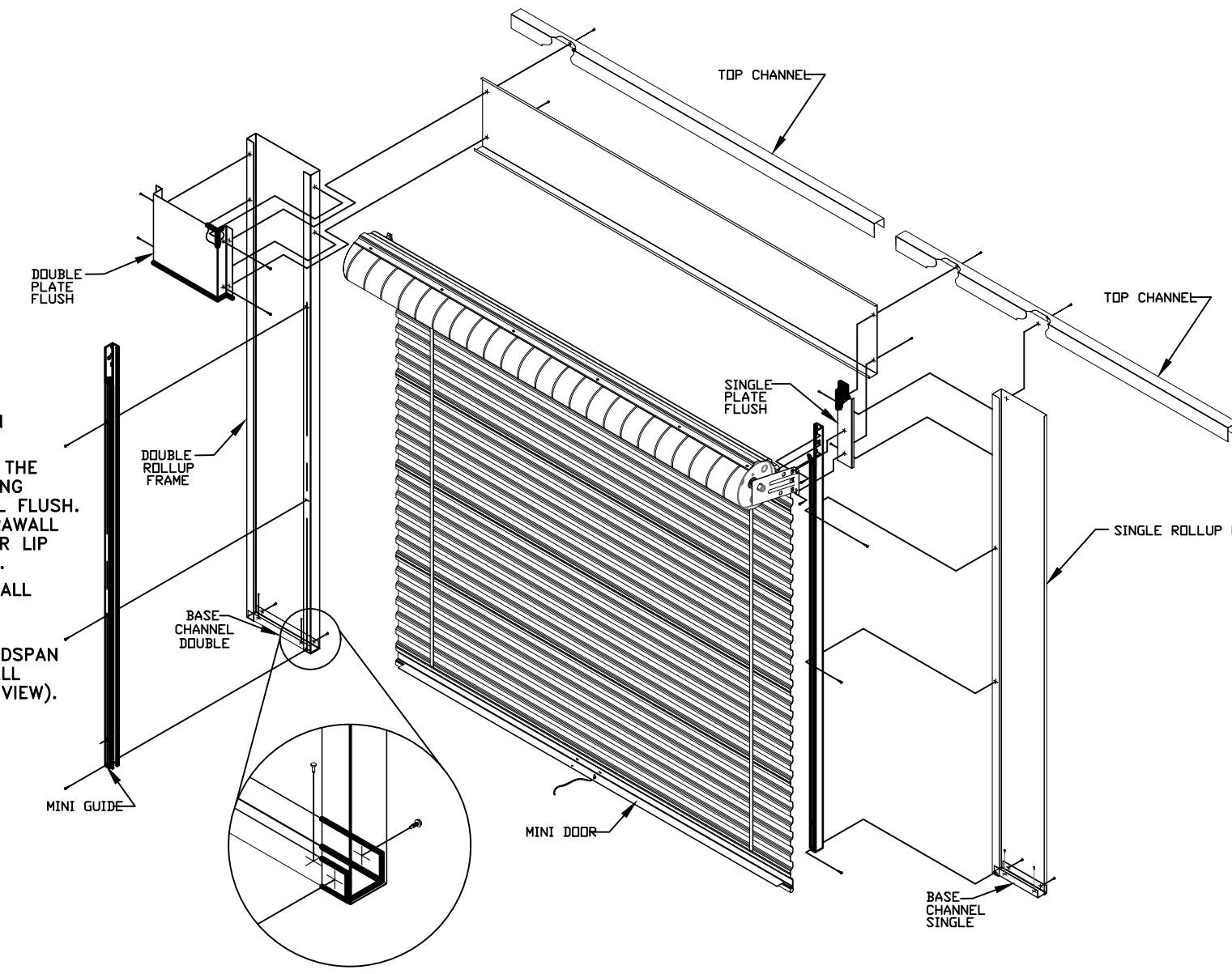
- NOTES:**
- 1) FASTEN THE BOTTOM CHANNEL TO THE FLOOR USING AIR OR POWDER ACTUATED FASTENERS.
  - 2) CONNECT THE TOP ANGLE TO THE ROOF PURLIN USING TAK SCREWS
  - 3) INSERT THE CORRUGATED WALL PANELS INTO THE TOP AND BOTTOM CHANNELS. SLIDE THE INTERLOCKING "FINGERS" OF THE CORRUGATED UNTIL SECURE AND FASTEN THE TOP OF THE CORRUGATED WALL SECTIONS TO THE TOP CHANNEL'S OUTER LIP USING TEKS SCREWS (AS SHOWN IN THE REAR VIEW).
  - 4) SECURE THE BOTTOM OF THE CORRUGATED WALL SECTIONS TO THE BOTTOM CHANNEL'S FRONT FACE USING TEKS SCREWS (AS SHOWN IN REAR VIEW).
  - 5) IF INCLUDED IN PARTS GROUPING, SECURE THE MIDSPAN BRACING ACROSS THE BACK OF THE CORRUGATED WALL SECTIONS USING TEKS SCREWS (AS SHOWN IN REAR VIEW).
  - 6) THIS AREA IS THE APPLICATION AREA FOR THE OPTIONAL MIDSPAN BRACING ACROSS THE BACK OF THE CORRUGATED WALL SECTIONS. SEE DRAWING A-900-005-0005 FOR MOUNTING DETAILS.

**1 | UNIT PARTITION**

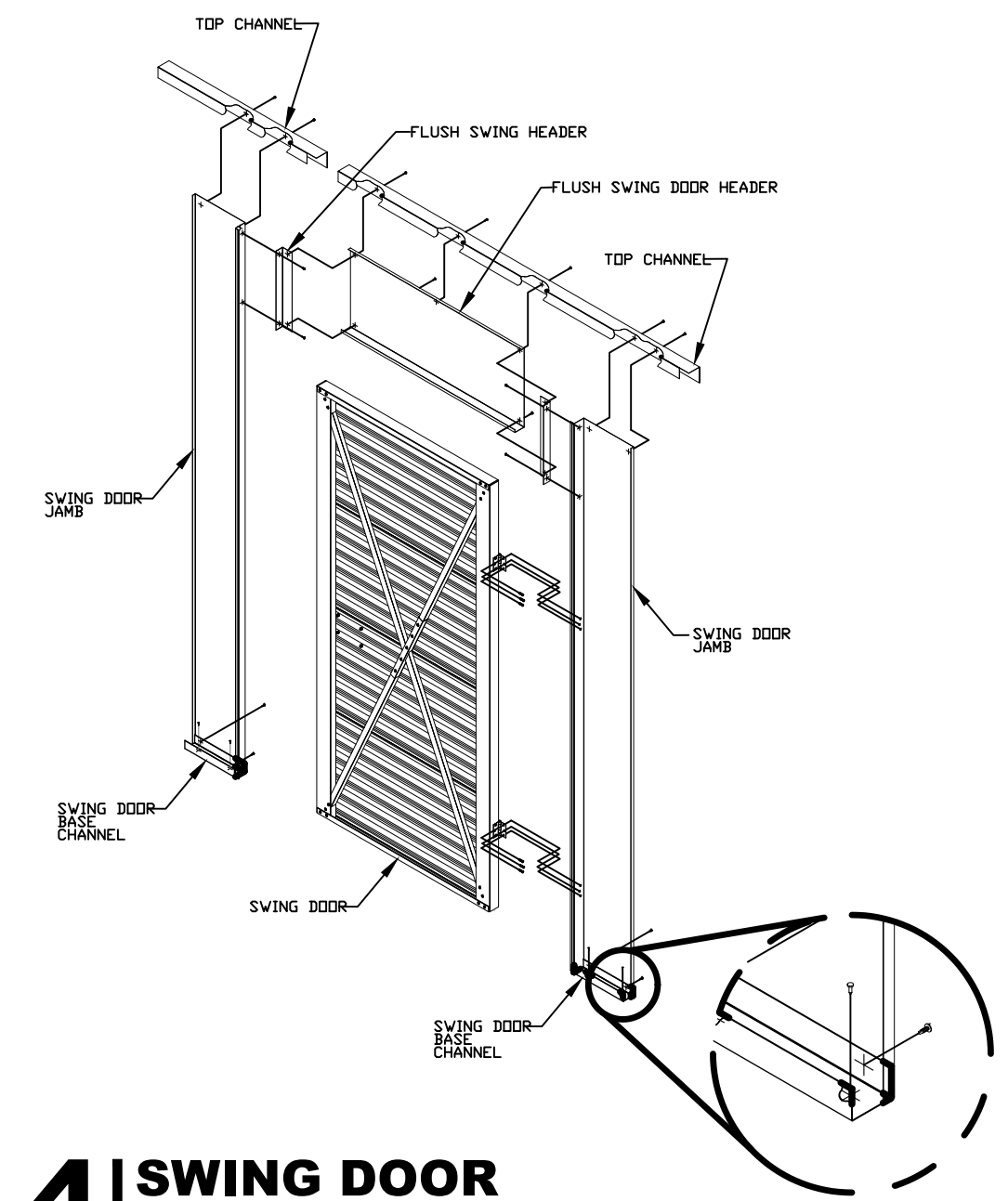


- NOTES:**
- 1) FASTEN THE BOTTOM CHANNEL TO THE FLOOR USING AIR OR POWDER ACTUATED FASTENERS.
  - 2) CONNECT THE TOP CHANNEL TO THE ROOF PURLIN USING TAK SCREWS
  - 3) INSERT THE CORROWALL FLUSH WALL PANELS INTO THE TOP AND BOTTOM CHANNELS. SLIDE THE INTERLOCKING "FACES" OF THE CORROWALL FLUSH WALL UNITS UNTIL FLUSH. FASTEN ALONG THE FACE OF THE SIDES OF THE CORROWALL FLUSH WALL SECTIONS TO THE TOP CHANNEL'S OUTER LIP USING TEKS SCREWS (AS SHOWN IN THE REAR VIEW).
  - 4) SECURE THE BOTTOM OF THE CORROWALL FLUSH WALL SECTIONS TO THE BOTTOM CHANNEL'S FRONT FACE USING TEKS SCREWS (AS SHOWN IN REAR VIEW).
  - 5) IF INCLUDED IN PARTS GROUPING, SECURE THE MIDSPAN BRACING ACROSS THE BACK OF THE CORRUGATED WALL SECTIONS USING TEKS SCREWS (AS SHOWN IN REAR VIEW).

**2 | FLUSH PANEL**



**3 | ROLL UP DOOR**



**4 | SWING DOOR**

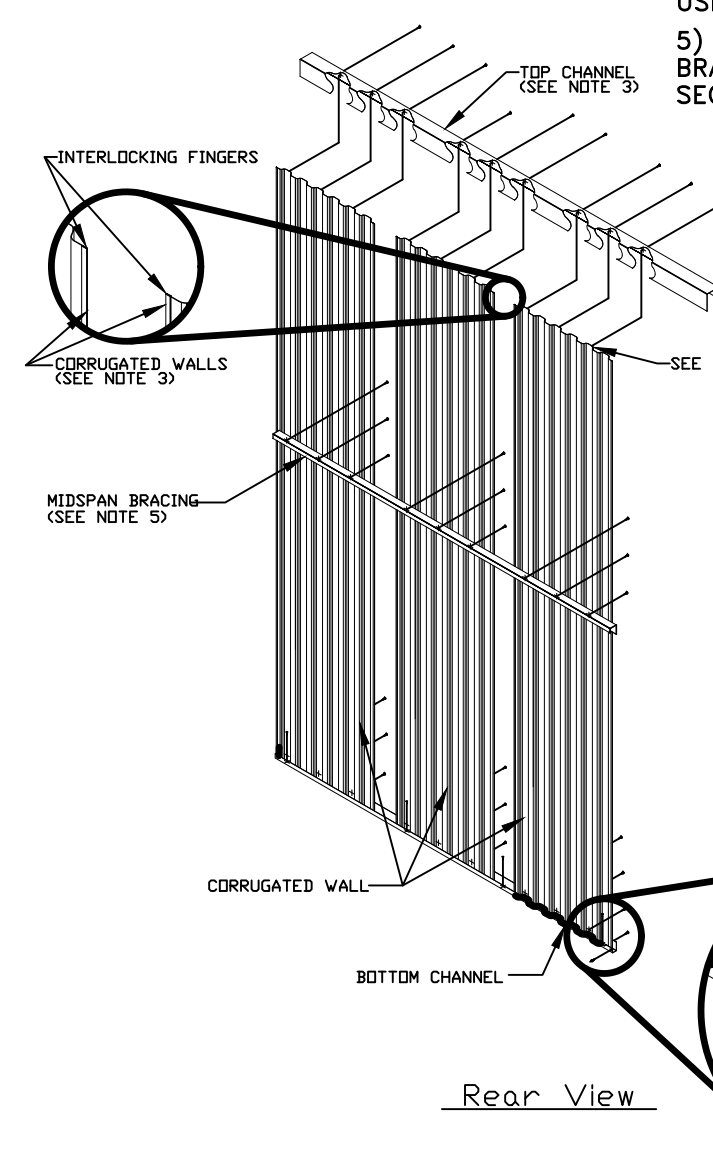
**INSTALLATION NOTES:**

- 1.) These door and hallway system instructions are intended for a professional installer such as a steel erector or door installer. Individuals without sufficient knowledge of the doors, hallways or steel components can pose a threat for potential injury or harm. Failure to follow instructions can result in personal injury and/or material damages. Please review ALL drawings and instructions prior to installation and layout.
- 2.) Upon receiving material, check quantities and items against the packing list to confirm all materials were received. Arrange material in locations near their final position, out of the way of other trades. Stage in a dry area to minimize material movement and potential damage.
- 3.) Reference site drawing to review layout and unit mix before commencing installation. Note that the finished hallway dimension will be 4'-1 1/2" less than the rough hallway width due to the 2'-1 1/4" bottom floor channel secured on each side of the hallway.
- 4.) Using a chalk line, mark the dimensions for the hallway 2'-1 1/4" from a steel structure starting point. Affix the hallway bottom channel between the steel structure and the edge of the chalk line.
- 5.) Anchor with supplied shot & pin every 24" on center. Continue in the same manner with the unit partition Bottom Channel measuring the units dimension from the back of channel (already anchored to the front of the channel being laid out). As plans indicate, affix the roll up frame Base Channels accordingly with 2 shot and pin fasteners per base channel.
- 6.) Attach starter angle to floor bottom channel. Temporarily brace with 2"x2" angle, to reinforce and minimize flexibility. Make sure the starter angle is plumb for easy top channel installation. A starter angle is required between each individual unit.
- 7.) Attach flush or corrugated Back Plate to Rollup Frame with (4) #8 Tek screws-2 per side. Height of the plate is determined by the height of the hallway system and door size. The top edge of the Back Plate should also be flush with the top edge of the Rollup Frame.
- 8.) Stand up the Rollup Frame with the Back Plate and fasten the assembly to the rollup frame base channel. Insure that the frame is plumb for easy Top

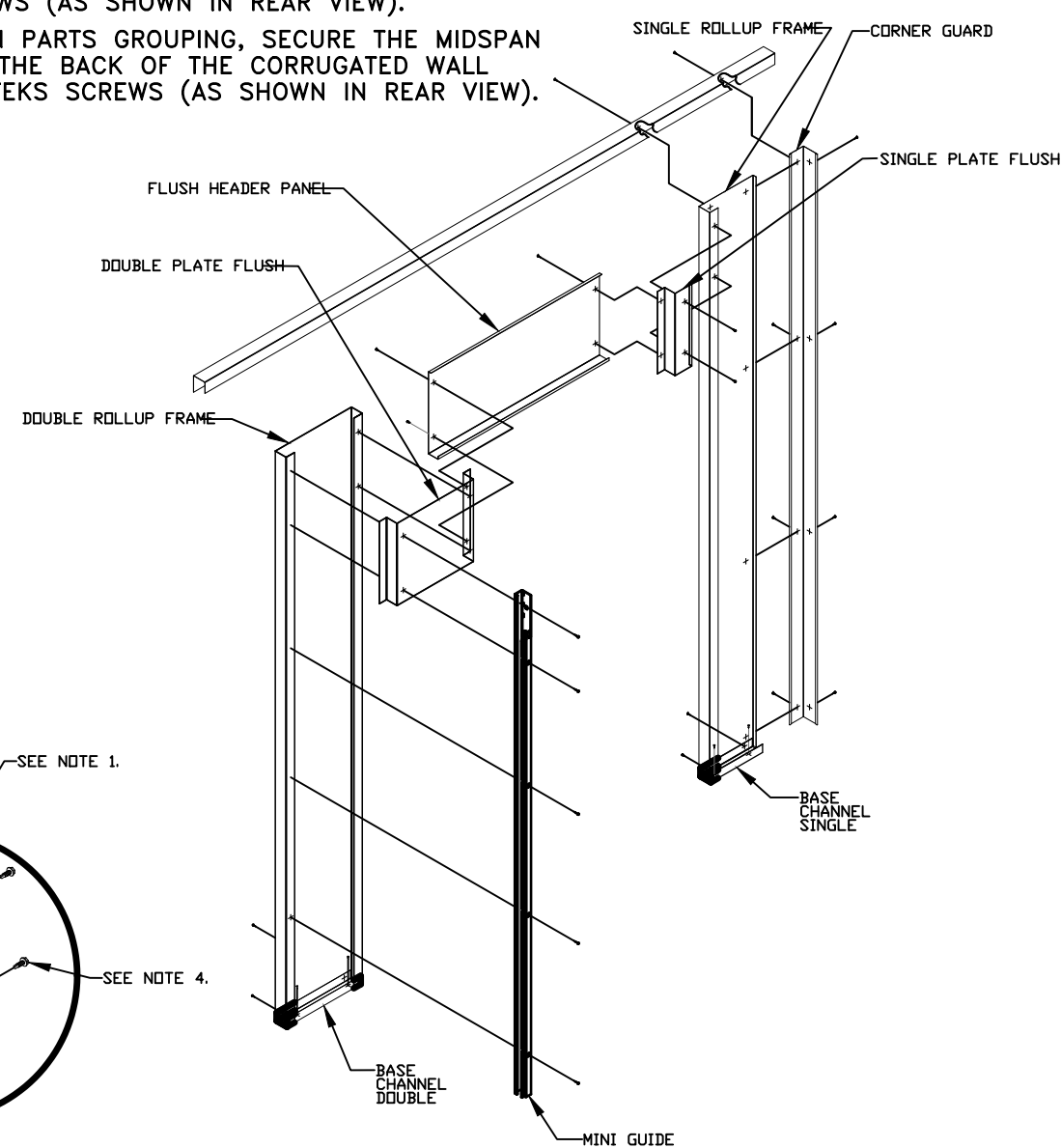
- 8.) Securely affix the Top Channel to existing steel structures, Starter Angles and/or Rollup Frames so that the top of the channel is 1/2" higher than the specified hallway system height. Ensure that the channel remains level, to avoid ill-fitting corrugated or flush wall panels.
- 9.) Install wall panels vertically into Floor Channel and Top Channel as recommended. Level before
  - a. For corrugated panel, secure with 3 screws at the top and bottom--total fasteners being 6 per sheet.
  - b. For flush panels, secure with 2 screws at the top and bottom--total fasteners being 4 per sheet.
- 10.) Mid-Span Bracing is recommended over 8' 6" tall corrugated walls only.
- 11.) Affix Kick Plates and Corner Guards upon completion of the Hallway System.
- 12.) Install "Mo-Caps" on the back of ALL exposed screws.

**NOTES:**

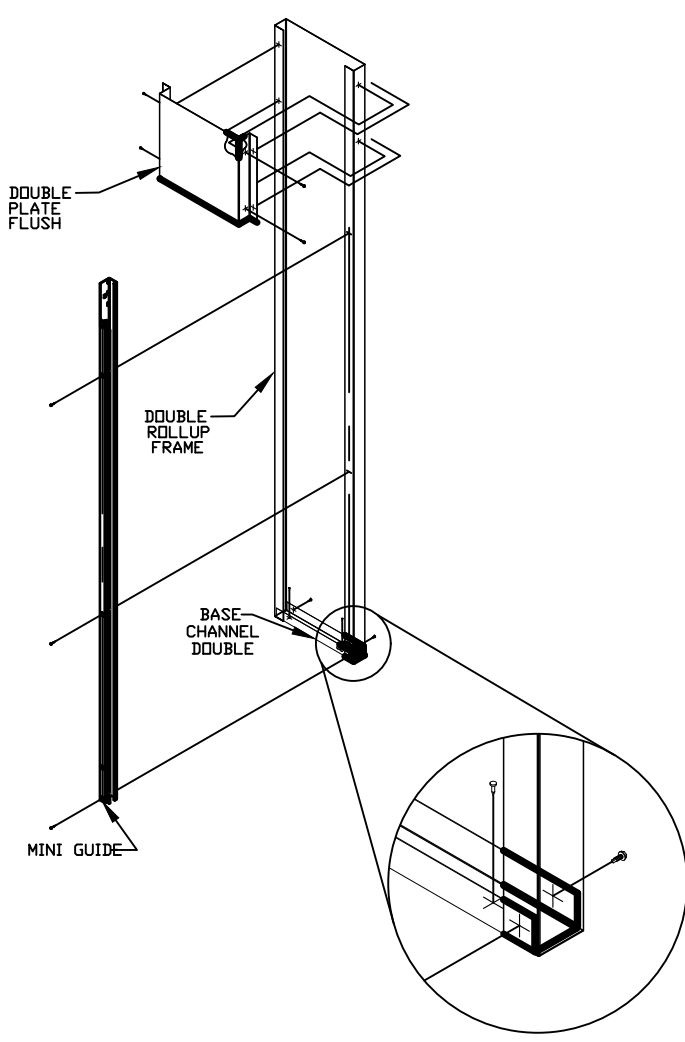
- 1) FASTEN THE BOTTOM CHANNEL TO THE FLOOR USING AIR OR POWDER ACTUATED FASTENERS.
- 2) CONNECT THE TOP CHANNEL TO THE ROOF PURLIN USING TAK SCREWS
- 3) INSERT THE CORRUGATED WALL PANELS INTO THE TOP AND BOTTOM CHANNELS. SLIDE THE INTERLOCKING "FINGERS" OF THE CORRUGATED UNTIL SECURE AND FASTEN THE TOP OF THE CORRUGATED WALL SECTIONS TO THE TOP CHANNEL'S OUTER LIP USING TEKS SCREWS (AS SHOWN IN THE REAR VIEW).
- 4) SECURE THE BOTTOM OF THE CORRUGATED WALL SECTIONS TO THE BOTTOM CHANNEL'S FRONT FACE USING TEKS SCREWS (AS SHOWN IN REAR VIEW).
- 5) IF INCLUDED IN PARTS GROUPING, SECURE THE MIDSPAN BRACING ACROSS THE BACK OF THE CORRUGATED WALL SECTIONS USING TEKS SCREWS (AS SHOWN IN REAR VIEW).



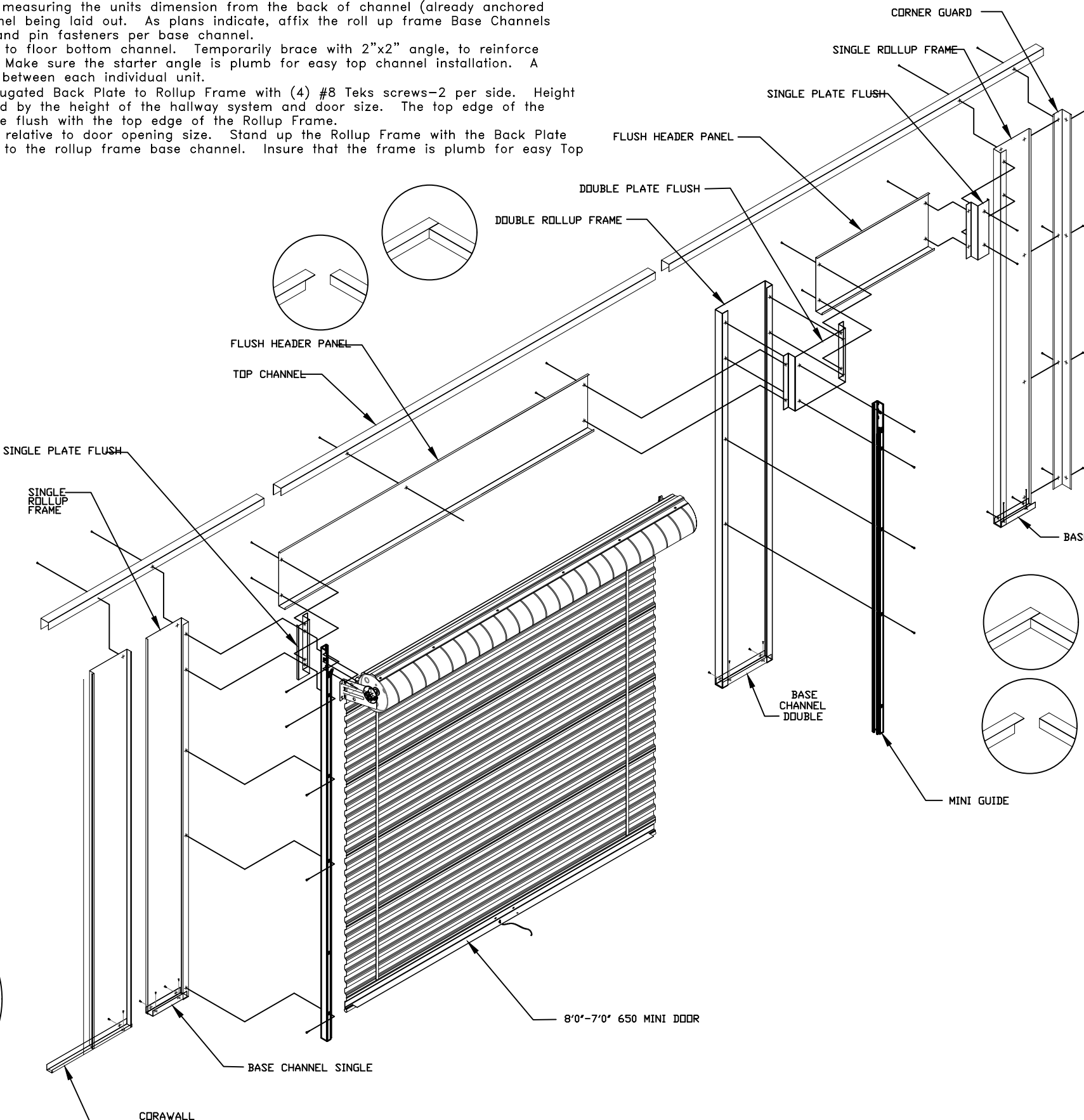
**5 | CORRUGATED HALLWAY PANEL**



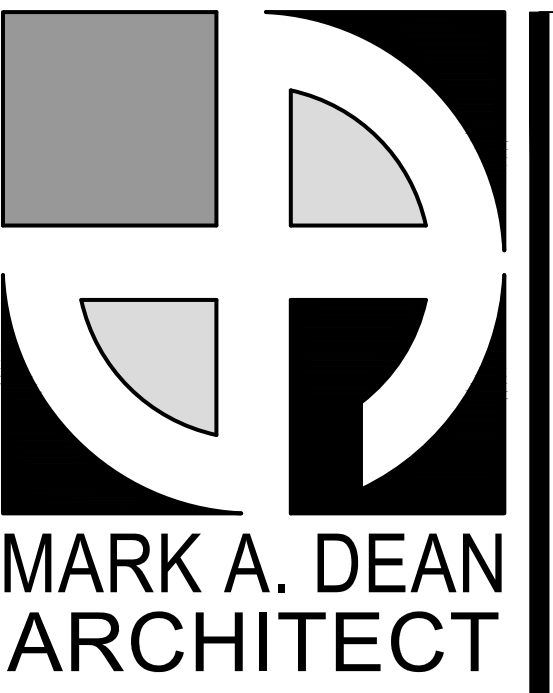
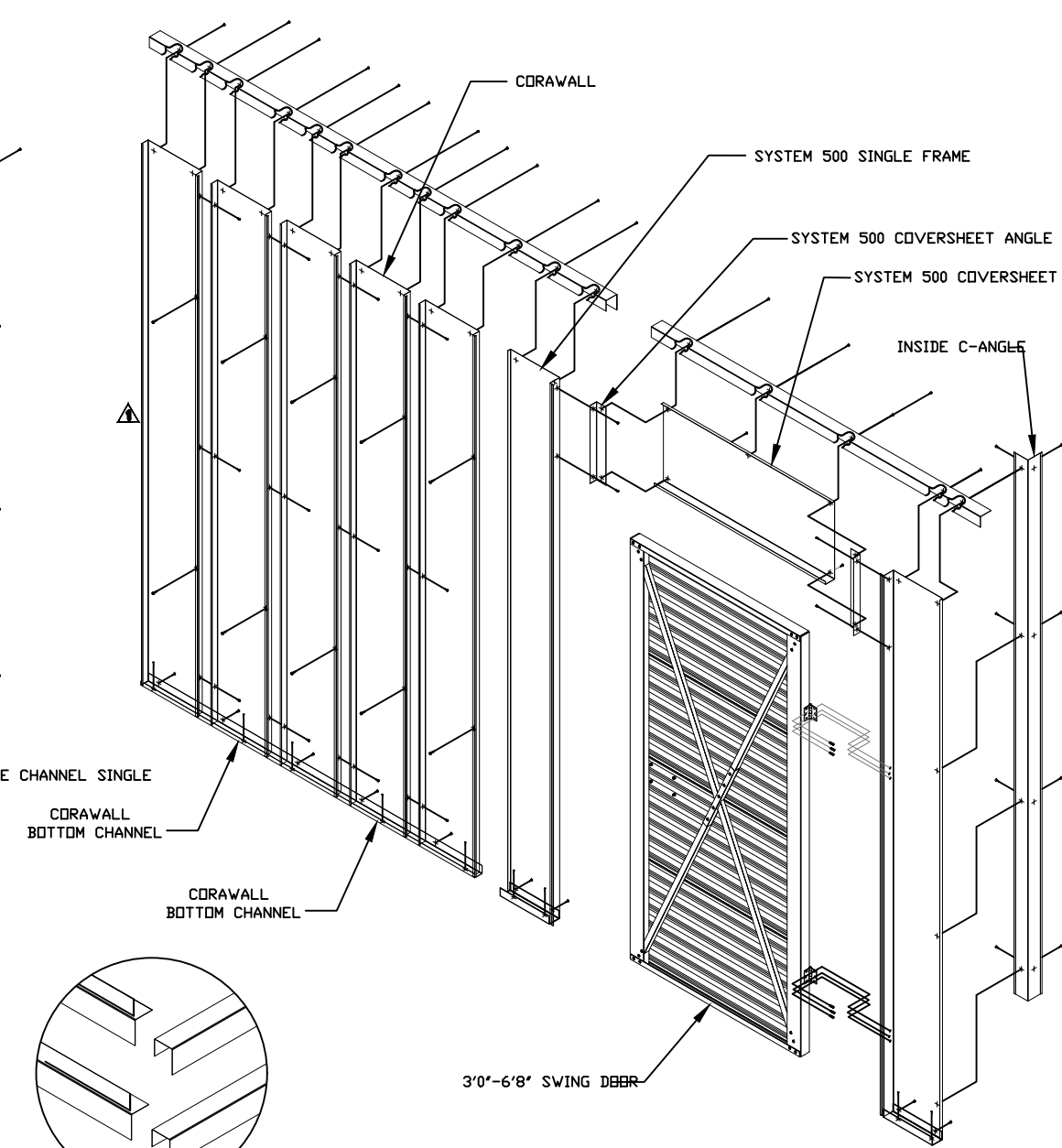
**6 | FLUSH HEADER**



**7 | FLUSH DOUBLE DOOR PLATE**



**8 | Flush Hallway System**



**MARK A. DEAN ARCHITECT**



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DEPEW, NEW YORK 14043  
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FAX: (716) 651-0382

**22-238**

**STORE & SPACE**

937 E. Haggard Ave.  
Elon, NC

**BUILDING 2**

No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

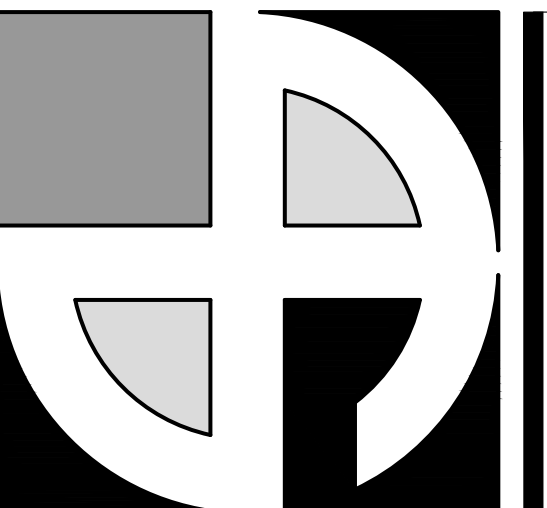
DATE:  
9-3-22  
DRAWN BY:  
A. Barraclough  
CHECKED BY:  
M. Dean  
SCALE:  
3/32" = 1'-0"

STORAGE UNIT  
INSTALLATION

**A1.4**

**BUILDING 1**





MARK A. DEAN  
ARCHITECT



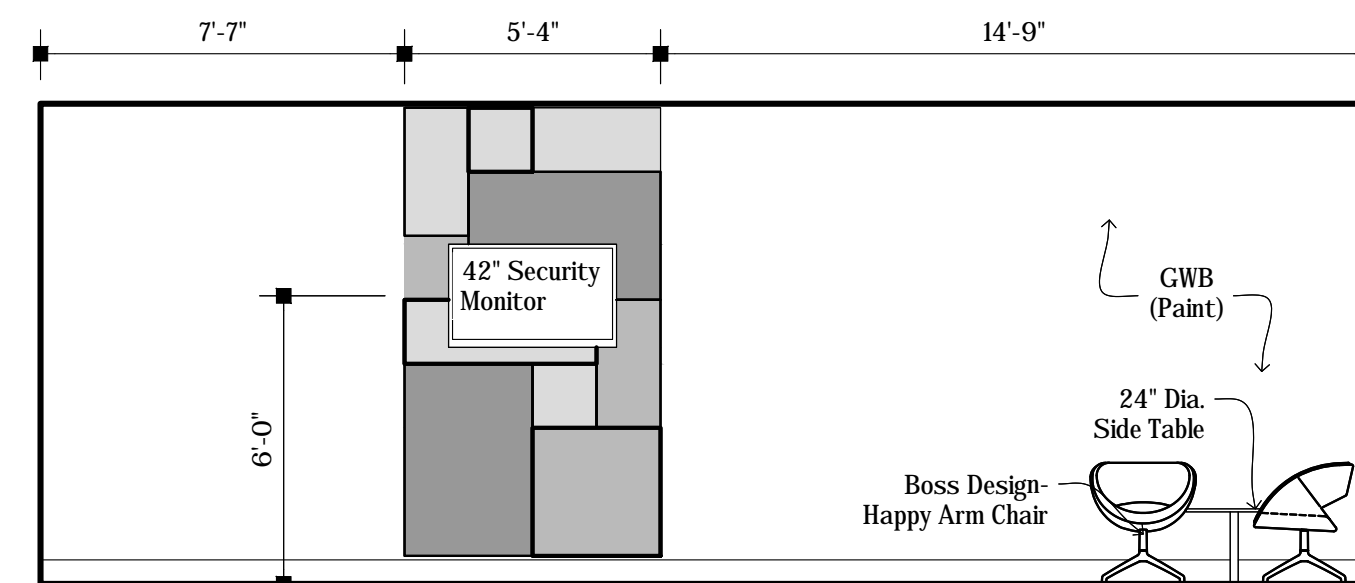
3284 WALDEN AVENUE  
DEPEW, NEW YORK 14043  
PHONE: (716) 651-0381  
FAX: (716) 651-0382

**22-238**

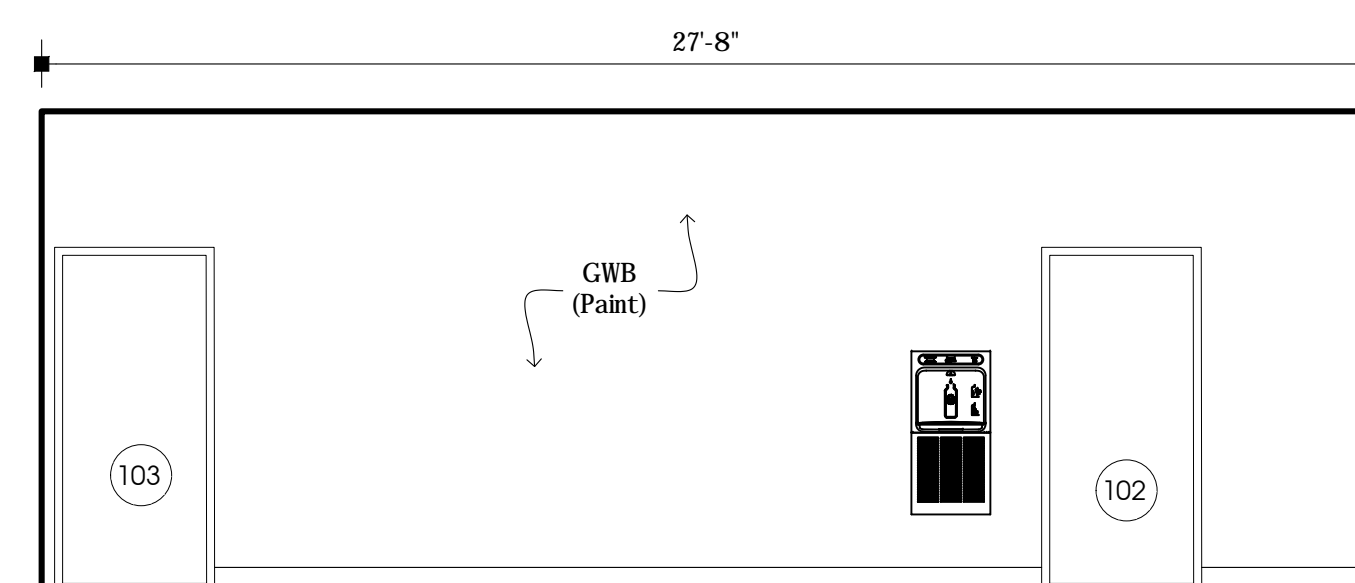
STORE SPACE

937 E. Haggard Ave.  
Elon, NC

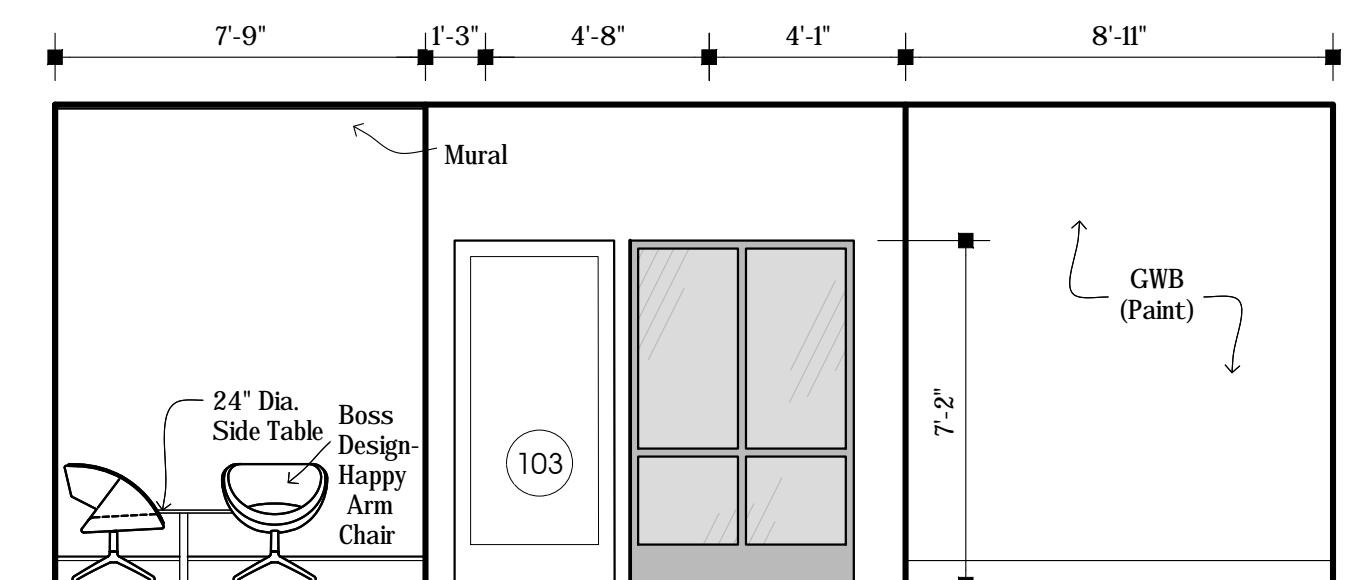
BUILDING 2



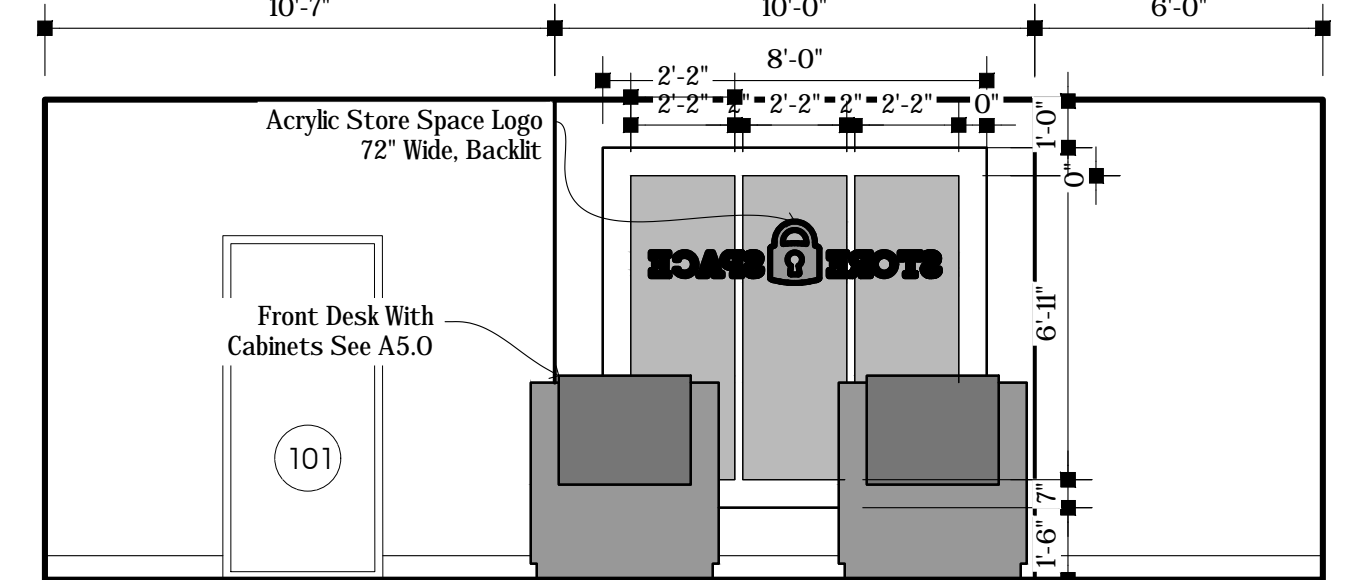
**1 INTERIOR ELEVATIONS**  
1/4"=1'-0"



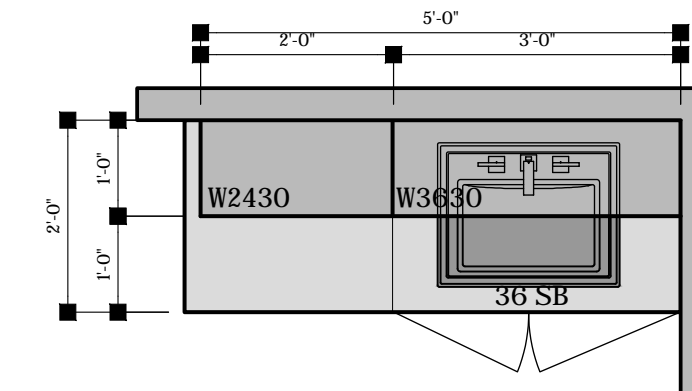
**2 INTERIOR ELEVATIONS**  
1/4"=1'-0"



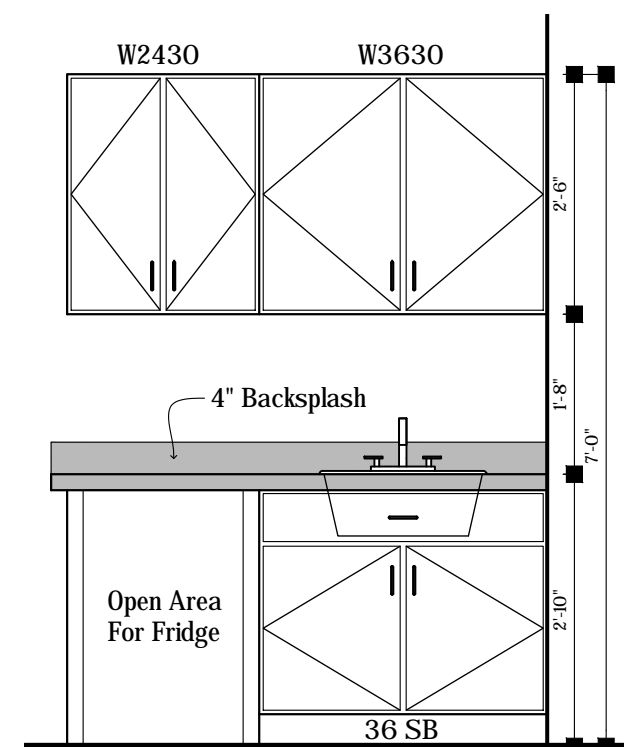
**3 INTERIOR ELEVATIONS**  
1/4"=1'-0"



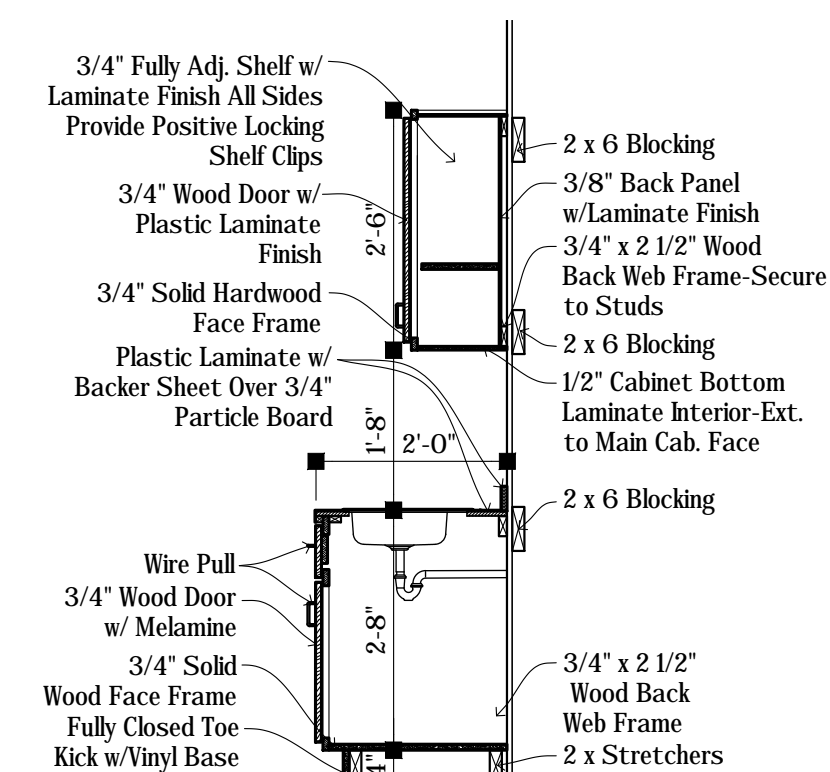
**4 INTERIOR ELEVATIONS**  
1/4"=1'-0"



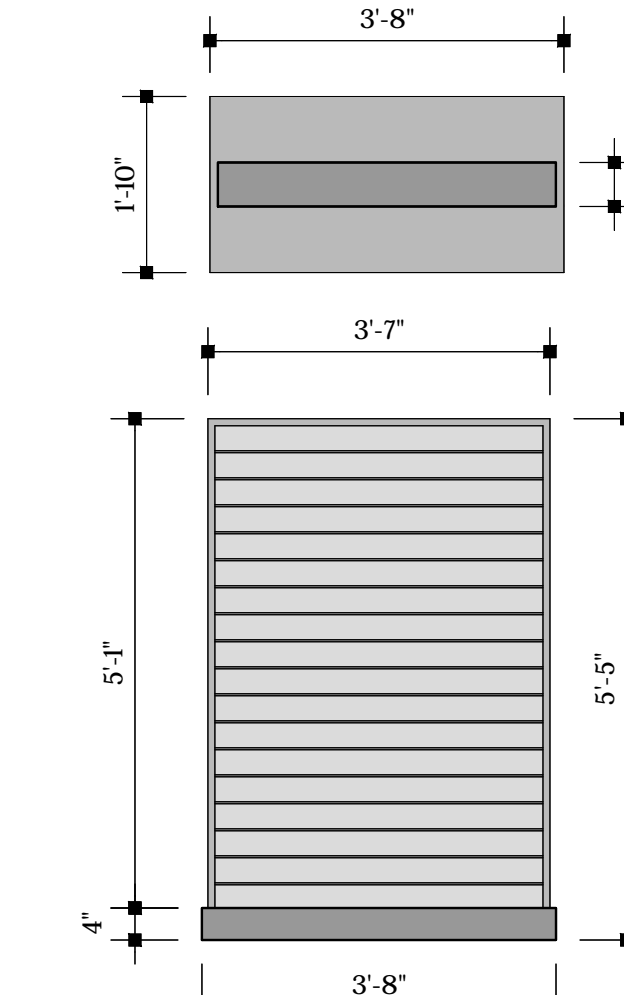
**1 MILLWORK PLAN**  
1/2"=1'-0"



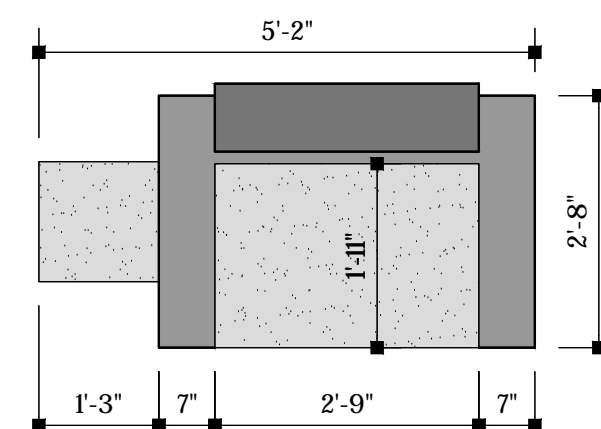
**2 ELEVATION**  
1/2"=1'-0"



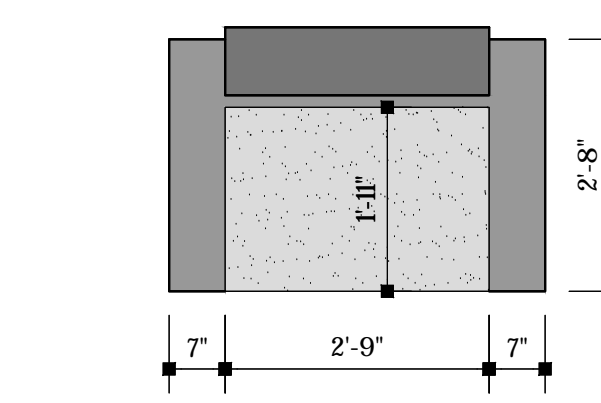
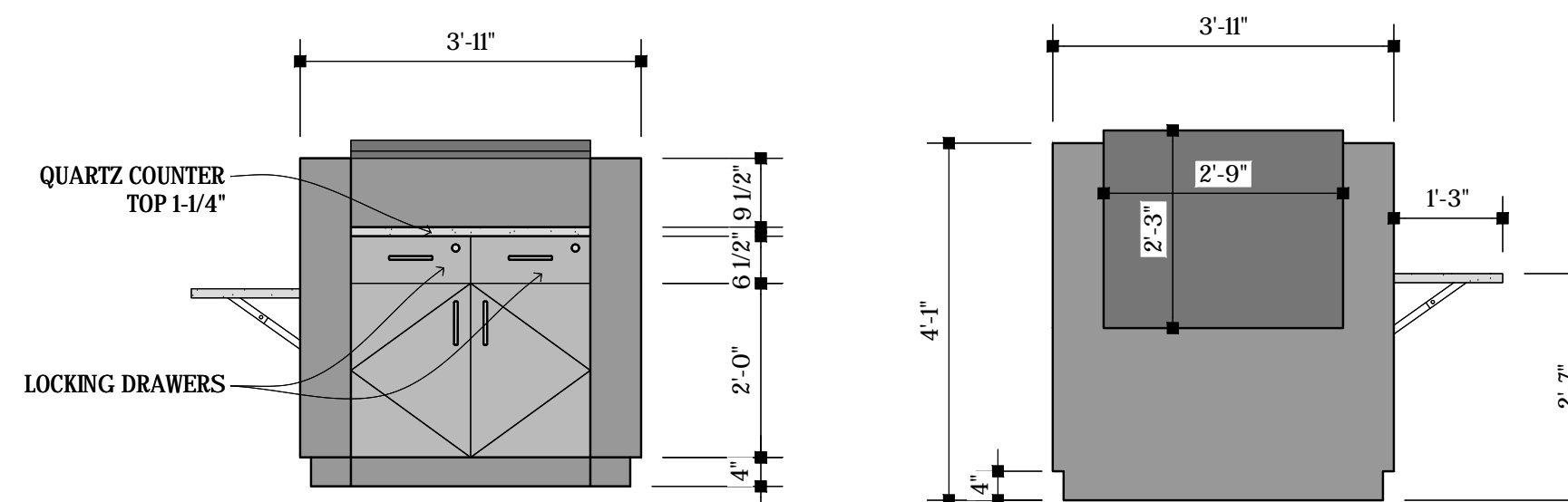
**3 MILLWORK SECTION**  
3/4"=1'-0"



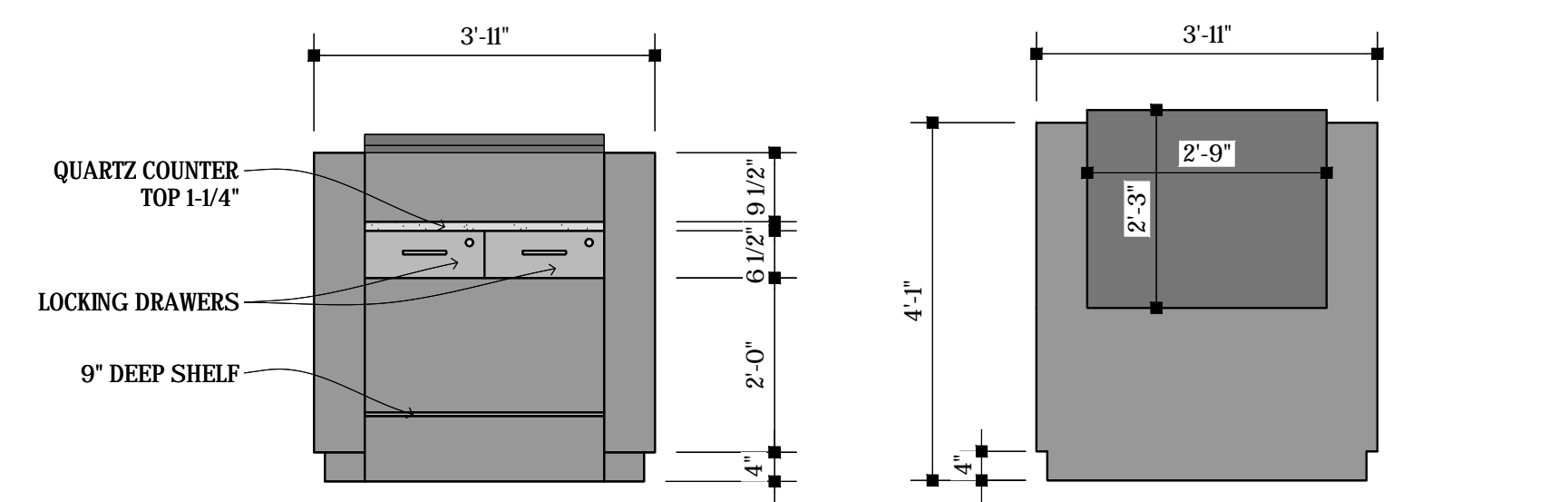
**7 FREESTANDING SLAT WALL**  
1/2"=1'-0"



**5 FRONT DESK WITH CABINETS**  
1/2"=1'-0"



**6 FRONT DESK**  
1/2"=1'-0"



**PARTITION NOTES**

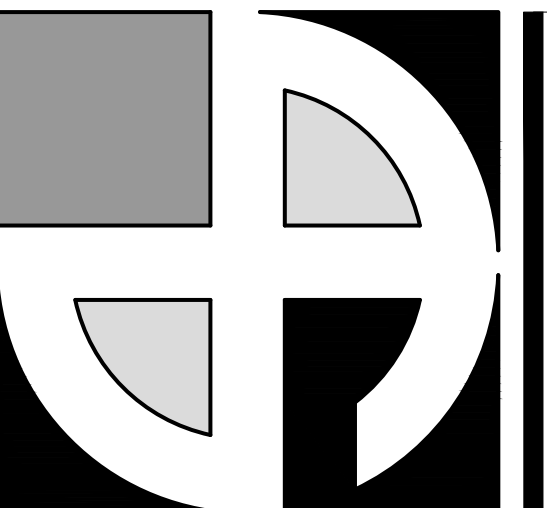
1. These notes are intended for use in conjunction with the specifications. Refer to the specifications for additional information.
2. Gypsum board nomenclature generally refers to products of United States Gypsum Company. Other gypsum products of similar and equivalent nature will be acceptable when differences do not materially detract from the design concept or the intended performances.
3. Install acoustical sealant in accordance with manufacturer's recommendations. Caulking the perimeter of partitions, openings, outlet box openings, and cut-outs in all partitions designated to receive acoustical insulation.
4. Maximum partition height. Do not exceed manufacturer's recommendations for spacing and stud gauge for L/240 deflection. Where scheduled partition type does not meet requirements, increase stud gauge, decrease spacing, or provide bracing above ceiling to meet deflection criteria.
5. Provide double studs at all jambs.
6. Provide solid lateral bracing in metal stud walls at 48" O.C. maximum or at wall mid-span, whichever is less, lateral bracing shall be field cut runner with 1/2 x 20 Ga. strap or 1/2" cold rolled channel placed through stud web holes and welded to both sides of channel. Lateral bracing shall be installed immediately after the studs are erected.
7. Where walls transition from one wall type to another, the studs shall be aligned to provide for a flush and smooth finished surface.

No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22  
DRAWN BY:  
T. Lidlow  
CHECKED BY:  
M. Dean  
SCALE:  
3/32"=1'-0"

INTERIOR  
ELEVATIONS &  
MILLWORK  
DETAILS  
**A1.5**





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**22-238**

**STORE SPACE**

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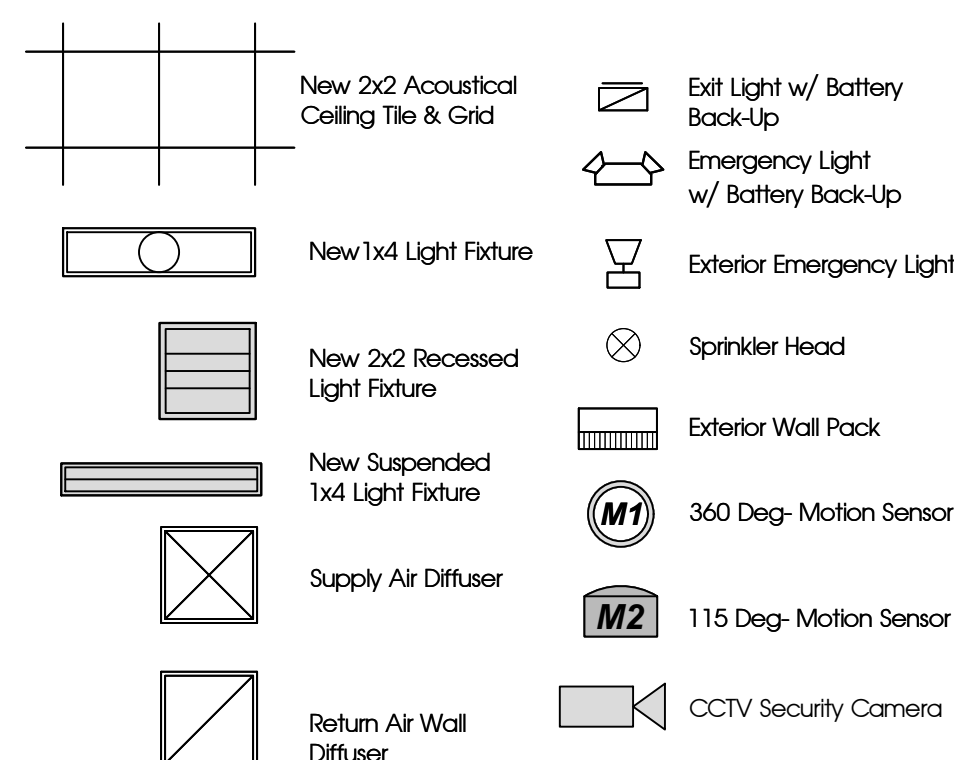
**BUILDING 2**



**RCP NOTES**

- All ceilings shall be installed as noted
- Do not begin installation of ceiling materials until all overhead work, including but not limited to, mechanical, electrical and fire protection installations are completed, tested and approved.
- Verify ceiling layouts by actual field dimensions prior to installation. Verify actual location of penetrating items in field.
- Support system independent of walls, columns, ducts, pipes and conduit. Maintain face plane with adjacent members, when splicing carrying tee's.
- Use properly placed and suspended load carrying framing channels to maintain hanger spacing and vertical position when interrupted by mechanical and electrical equipment and other horizontally run equipment
- Coordinate with other work supported by or penetrating ceiling systems, including mechanical and electrical work and partitions systems.
- Refer to mechanical and electrical drawings for type, size and location of ceiling mounted and penetrating equipment, including but not limited to return diffusers, light fixtures, emergency light fixtures, exit signs, fire detection systems, fire suppression systems and audio systems.

**LEGEND**



**REFLECTIVE CEILING PLAN**  
3/32"=1'-0"

Refer to Sheets  
E3.0, E3.1 And  
E3.2 For Fire  
Alarm Plans

FINISH MATERIALS LIST						
Location	Identifier	Material	Manufacturer	Style	Color	Comments
Ceiling	ACT-1	2x2 ACT	Armstrong	Pretude XL 15/16"	Sahara 271	5' FT AFF

No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22

DRAWN BY:  
A. Barraclough

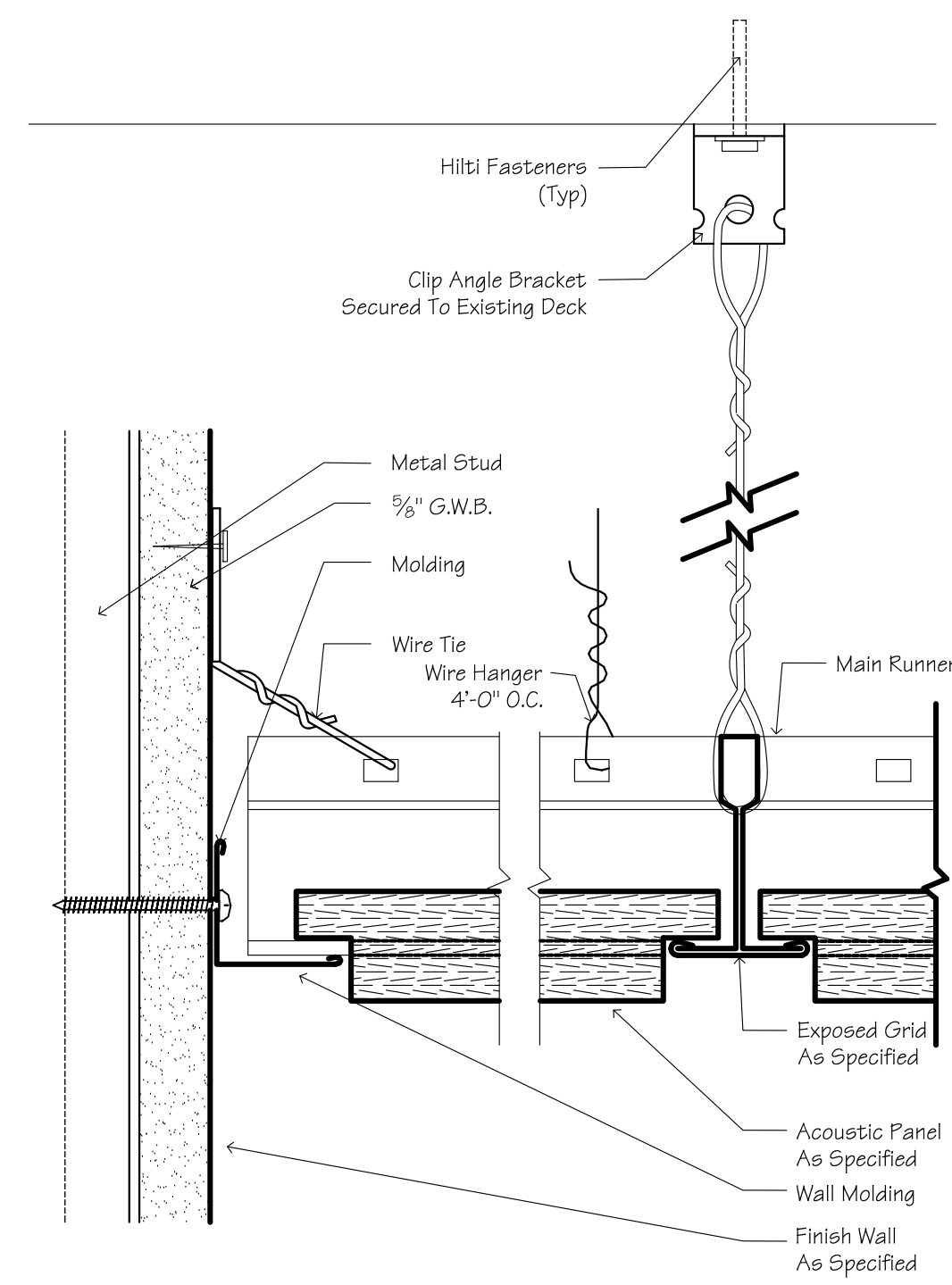
CHECKED BY:  
M. Dean

SCALE:  
3/32"= 1'-0"

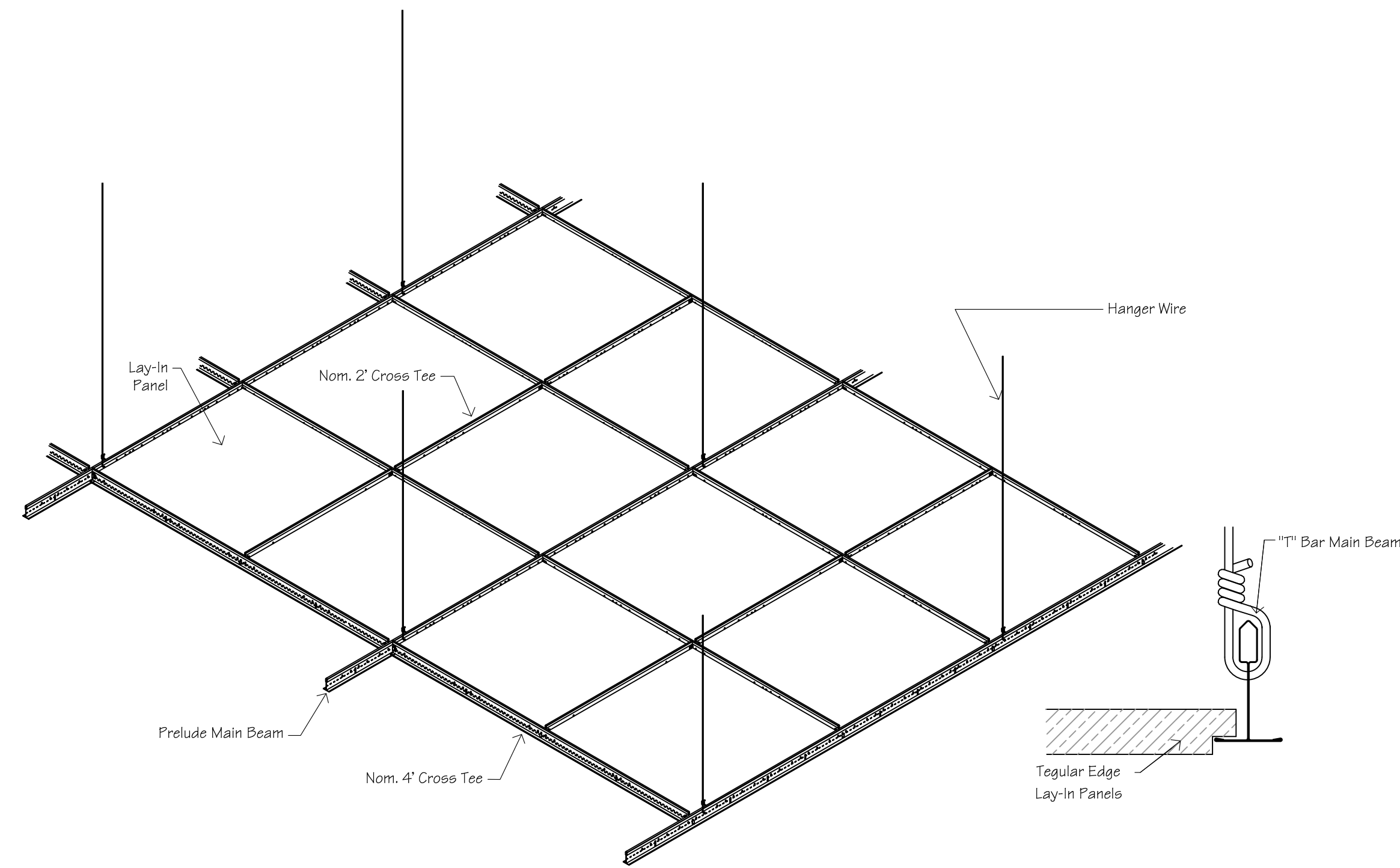
**REFLECTIVE CEILING PLAN**

**A2.0**

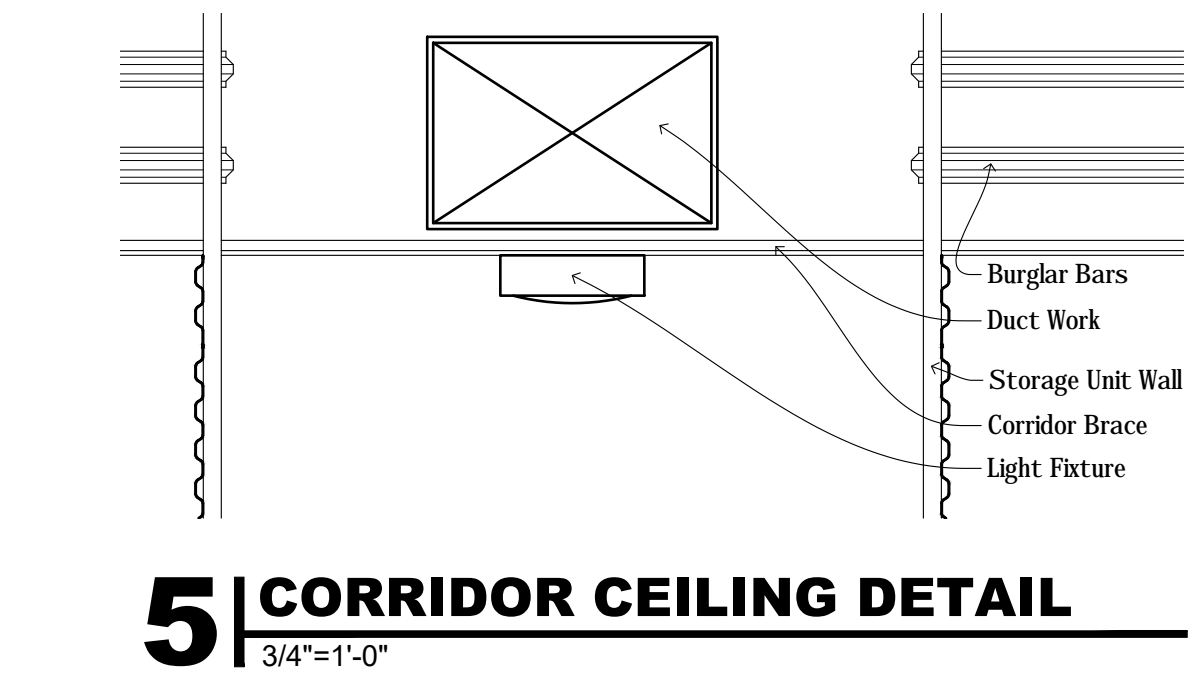




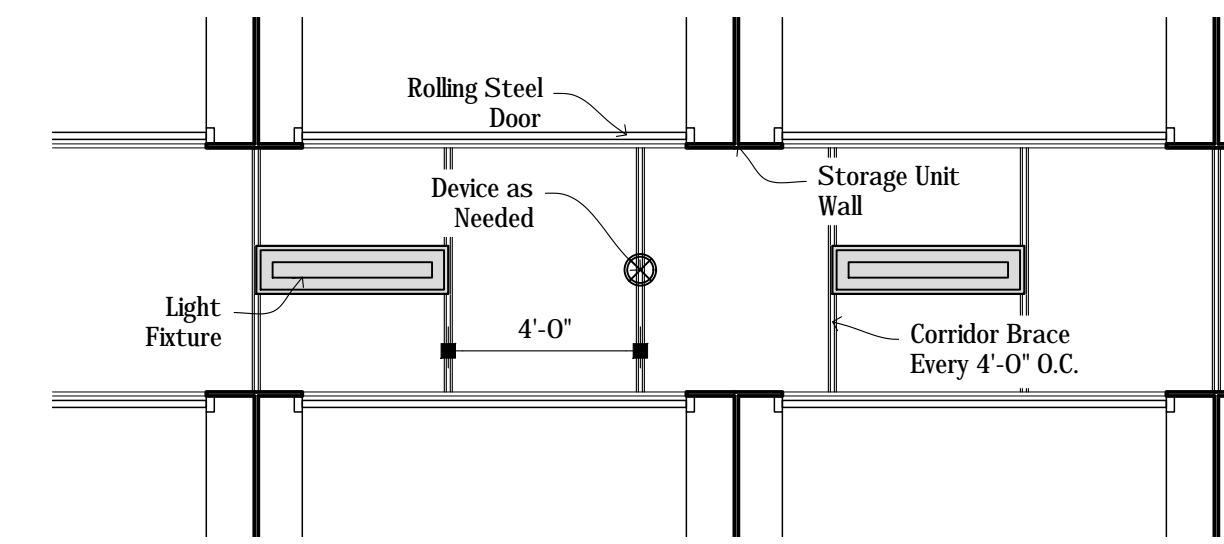
**1** CEILING EDGE DETAIL  
1/8"=1'-0"



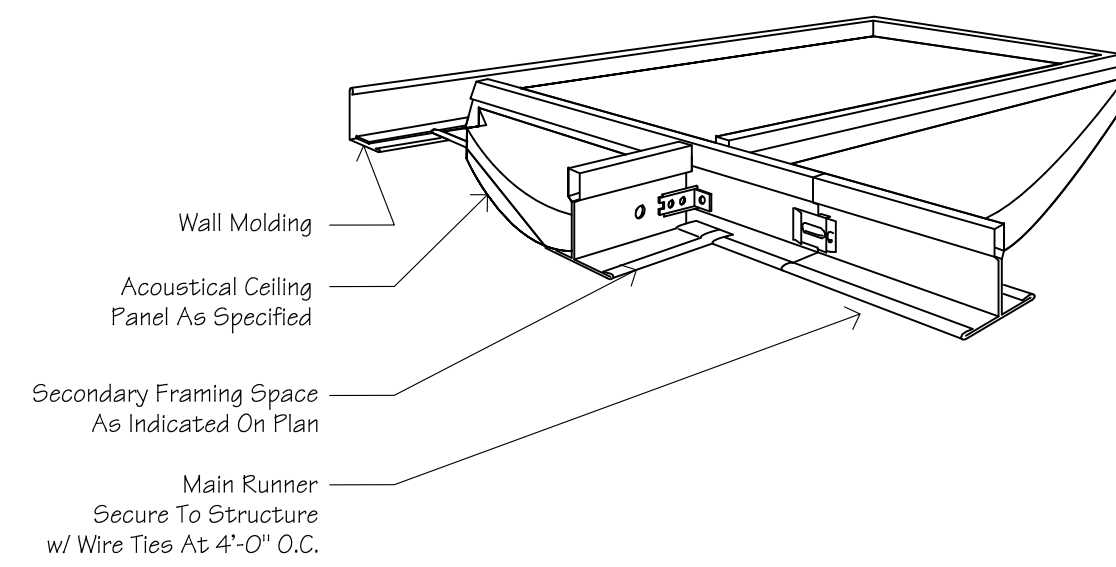
**3** CEILING GRID DETAIL  
N.T.S.



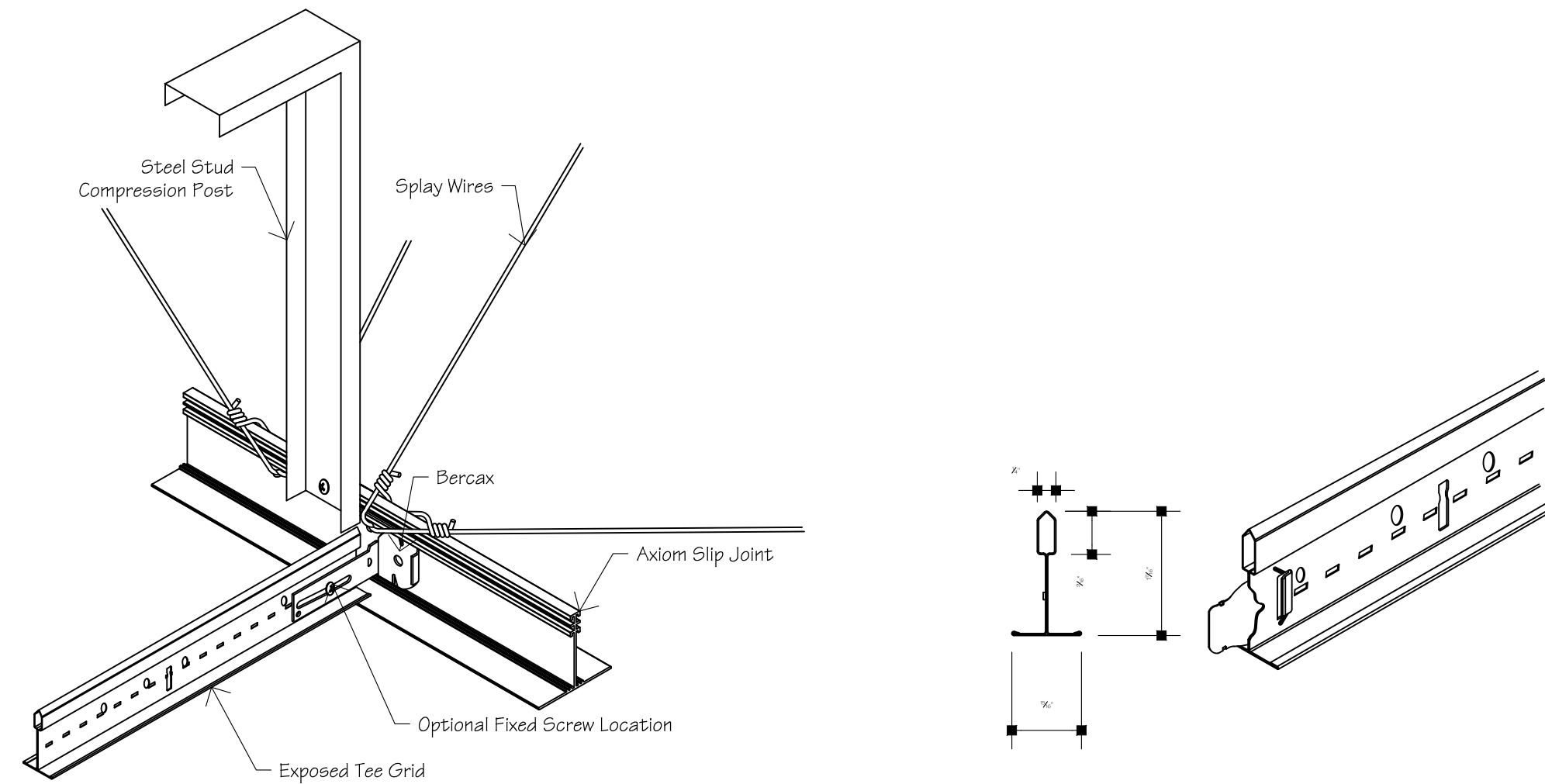
**5** CORRIDOR CEILING DETAIL  
3/4"=1'-0"



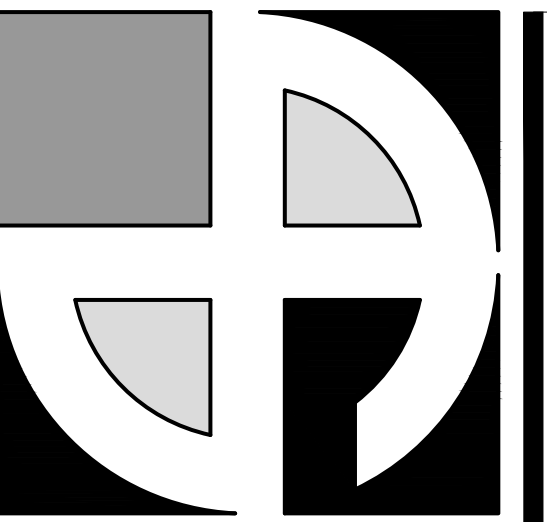
**6** CORRIDOR CEILING DETAIL  
1/4"=1'-0"



**2** CEILING GRID DETAIL  
3/4"=1'-0"



**4** CEILING GRID BRACING DETAIL  
N.T.S.



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**22-238**

STORE SPACE

937 E. Haggard Ave.  
Elon, NC

No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22  
DRAWN BY:  
A. Barraclough  
CHECKED BY:  
M. Dean  
SCALE:  
NTS

CEILING  
DETAILS

**A2.1**





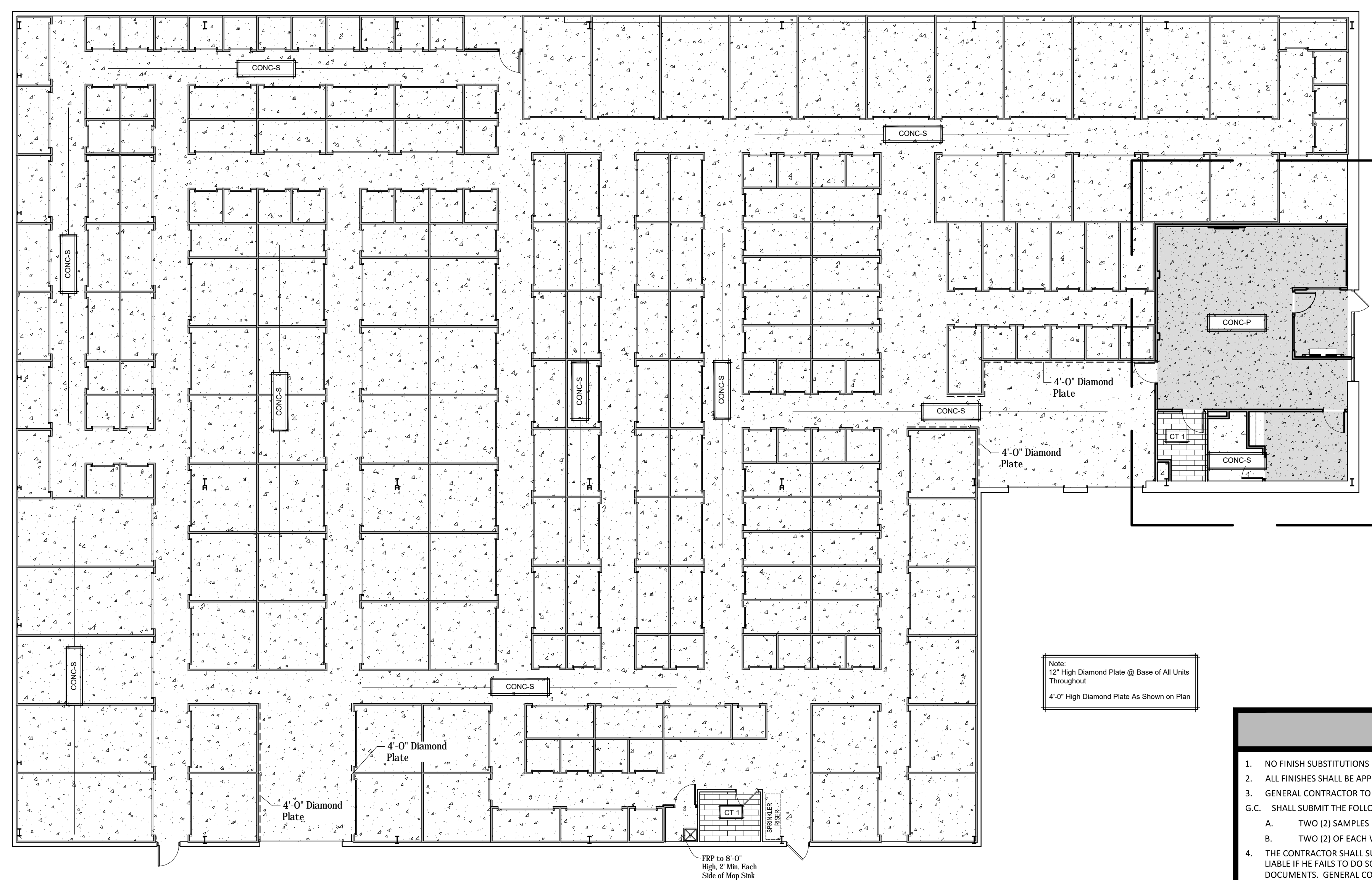
3284 WALDEN AVENUE  
DEWEY, NEW YORK 14043  
PHONE: (716) 651-0381  
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**22-238**

**STORE SPACE**

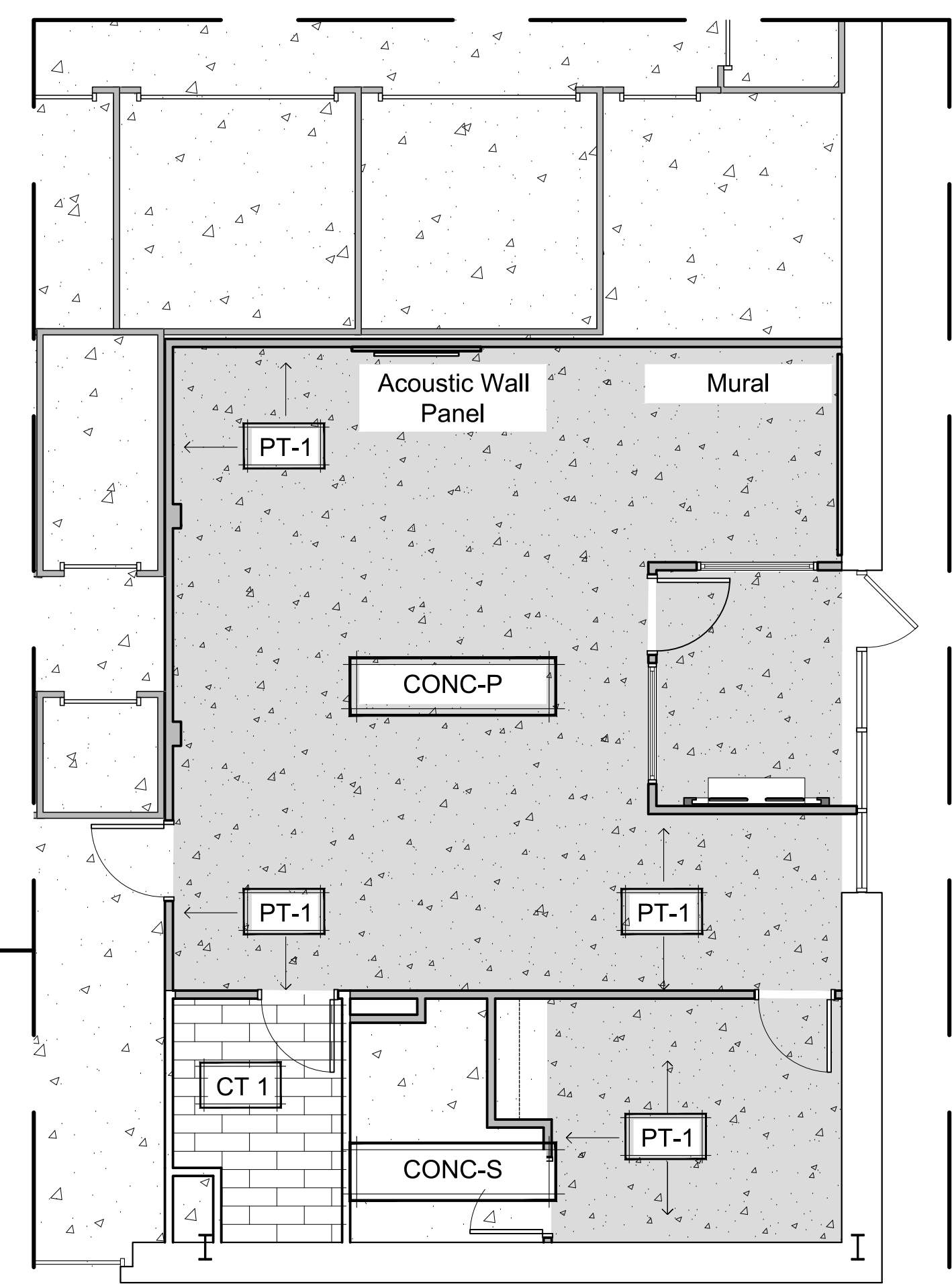
937 E. Haggard Ave.  
Elon, NC

**BUILDING 2**



**1 ROOM FINISH PLAN**  
3/32"=1'-0"

FINISH MATERIALS LIST						
Location	Identifier	Material	Manufacturer	Style	Color	Comments
Floors	CT-1	Ceramic Tile	Crosville	12x12	A825 Mercury	Used at restroom, floor grout Laticrete #89 Smoke Gray
	CONC-S	Concrete Seal	Euclid Chemical	Super Aqua-Cure VOX	Clear	
	CONC-P		TBD	Polished Concrete	Grey	Gloss Level-4- Highly Polished
Base	BASE-1	Vinyl	Evertrue	Craftsman Primed MDF	SW-9544 Dashing (Satin)	5 1/2" height
Paint	PT-1	Paint	Sherwin Williams	SW-7006	Extra White (Satin)	
	PT-2	Paint	Sherwin Williams	SW-7063	Nebulous White (Satin)	Office Walls
	PT-3	Paint	Sherwin Williams	SW-9544	Dashing (Satin)	On All Office Sw ing Doors & Frames
	PT-4	Paint	Sherwin Williams	SW-6531	Indigo Blue (Satin)	Accent Wall
	PT-5	Paint	Sherwin Williams	SW-6531	Gray Screen (Satin)	Bathroom Walls
Ceiling	ACT-1	2x2 ACT	Armstrong	Prelude XL 15/16"	Sahara 271	8' FT AFF



**2 ENLARGED ROOM FINISH PLAN**  
3/16"=1'-0"

Note:  
12" High Diamond Plate @ Base of All Units  
Throughout  
4'-0" High Diamond Plate As Shown on Plan

**FINISH NOTES**

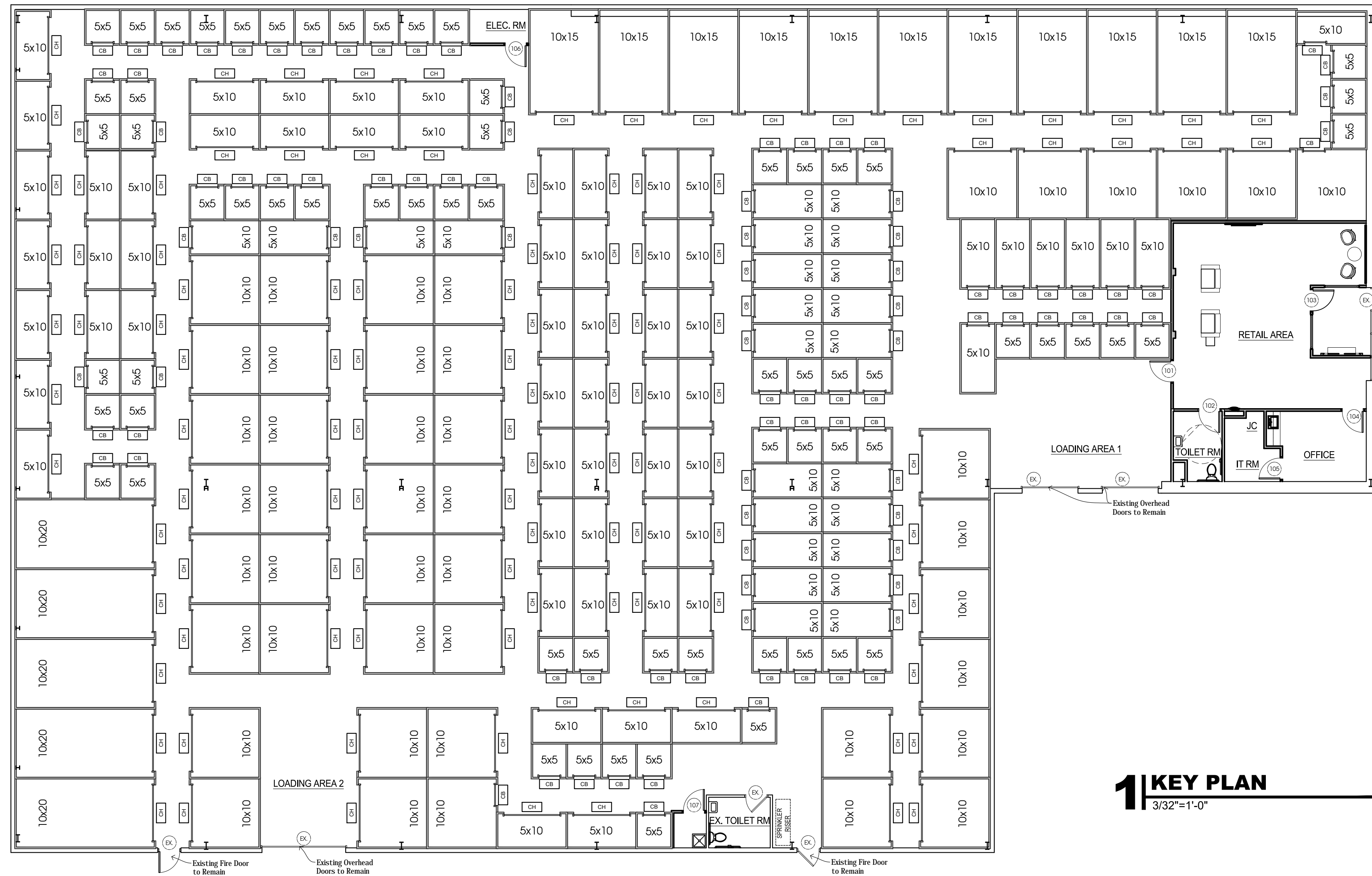
- NO FINISH SUBSTITUTIONS MAY BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION BY OWNER.
- ALL FINISHES SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- GENERAL CONTRACTOR TO PROVIDE TEMPORARY PROTECTION FOR ALL INSTALLED FINISHES AS WORK PROGRESSES.
- SHALL SUBMIT THE FOLLOWING SAMPLES TO OWNER:
  - TWO (2) SAMPLES FOR EACH PAINT OR WALLCOVERING.
  - TWO (2) OF EACH WOOD, VCT, TILES, STONE, PLAM OR OTHER SPECIALITY FINISH ETC...
- THE CONTRACTOR SHALL SUBMIT SAMPLES OF FINISH MATERIALS TO ARCHITECT. THE CONTRACTOR SHALL BE WHOLLY LIABLE IF HE FAILS TO DO SO, WHETHER FINISHES ARE SPECIFIED CORRECTLY OR INCORRECTLY IN THE CONTRACT DOCUMENTS. GENERAL CONTRACTOR TO NOTIFY ARCHITECT AND/OR OWNER OF ITEMS WITH LONG LEAD TIMES.
- FLOORING SUBCONTRACTOR TO SUBMIT SEAMING DIAGRAM WITH BID PACKAGE. SUBMITTAL.
- PROVIDE TRANSITION STRIPS AT MATERIAL TRANSITIONS. SUBMIT SAMPLE TO ARCHITECT, AND OWNER FOR APPROVAL AND ANY ALTERNATE COLOR SELECTION.
- ALL TRANSITIONS AT DOORS TO OCCUR UNDER CENTERLINE OF DOOR IN CLOSED POSITION, U.N.O.. TRANSITIONS AT CASED OPENINGS TO BE VERIFIED WITH OWNER.
- APPLICATION OF CONTROLLED INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH MUNICIPAL CODES AND NATIONAL REGULATIONS.
- THE MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILINGS SHALL NOT EXCEED THAT SET FORTH IN MUNICIPAL BUILDING CODE.
- THE SMOKE DENSITY OF MATERIALS SHALL BE NO GREATER THAN 450 WHEN TESTED IN ACCORDANCE WITH 2022 UNIFORM BUILDING CODE, STANDARD No. 8-1 IN THE WAY INTENDED FOR USE.
- INSTALL WALL FINISH FOR THE FULL HEIGHT OF THE PARTITION WITHOUT BASE. THERE SHALL BE NO UNFINISHED GAPS OF GYP. BOARD AT THE BASE.
- ALL PAINT AND PRIMERS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION FOR THAT PARTICULAR SURFACE.
- ALL WALLS SHALL RECEIVE ONE (1) PRIMER COAT AND TWO (2) COATS OF FINISH PAINT, PAINT FINISH SHALL HAVE CONSISTENT COVERAGE, FREE OF ROLLER OR BRUSH MARKS.
- ALL GYP. BD. CEILINGS AND SOFFITS TO RECEIVE TWO (2) COATS FLAT PAINT, U.N.O. WHERE INDICATED ON PLANS.
- PAINT AND WALLCOVERING SUBCONTRACTOR SHALL EXAMINE WALLS TO ENSURE PROPER PREPARATION BEFORE APPLICATION. BEGINNING WORK IMPLIES ACCEPTANCE OF THEIR CONDITION.
- WHERE PAINT COLORS CHANGE, CORNERS SHALL BE CUT-IN AND FREE OF OVERLAP.
- PAINT FINISH ON METAL SURFACES INCLUDING: DOOR FRAMES, HANDRAILS, ELEVATOR DOORS, ETC. SHALL BE SATIN, U.N.O.
- ALL METAL ACCESS DOORS SHALL BE PAINTED PT-3
- ALL CONCRETE SUBFLOORS SHALL BE TREATED FOR MOISTURE PRIOR TO INSTALLATION OF ANY FLOOR COVERING. RATINGS SHALL BE IN ACCORDANCE WITH THOSE AS CONSIDERED ACCEPTABLE BY THE MFR. FOR THE SPECIFIED PRODUCTS. SUBFLOORS EXCEEDING THESE MOISTURE RATINGS WILL REQUIRE CORRECTIVE MEASURES.
- ALL BASE SHALL BE AS SPECIFIED, OR EQUAL. CONTRACTOR TO PROVIDE SAMPLE FOR REVIEW AND APPROVAL.
- INSTALL BASE LENGTHS AS LONG AS POSSIBLE. WRAP BASE AROUND CORNER AND CONTINUE A MIN. OF 6" BEYOND BEFORE SEAMING, OR USE PRE-FORMED CORNER PIECES.
- G.C. TO COORDINATE THE INSTALLATION OF WALL BASE WITH ANY MILLWORK. DELETE BASE WHERE BUILT-IN CABINETS ARE INDICATED.
- ALL RECESSED SPRINKLER HEADS IN GYP. BD. CEILINGS SHALL BE FACTORY PAINTED TO MATCH ADJACENT FINISH, WHERE APPLICABLE.
- FLOORING SHALL MEET ALL CURRENT NON-SLIP STANDARDS AND REQUIREMENTS SPECIFIED BY APPLICABLE CODES AND/OR AUTHORITIES. CONTRACTOR SHALL PROVIDE NON-SLIP COATINGS AS NECESSARY TO MEET THESE REQUIREMENTS.

No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22  
DRAWN BY:  
T.Lidlow  
CHECKED BY:  
M. Dean  
SCALE:  
3/32"= 1'-0"

**ROOM FINISH  
PLAN**  
**A3.0**



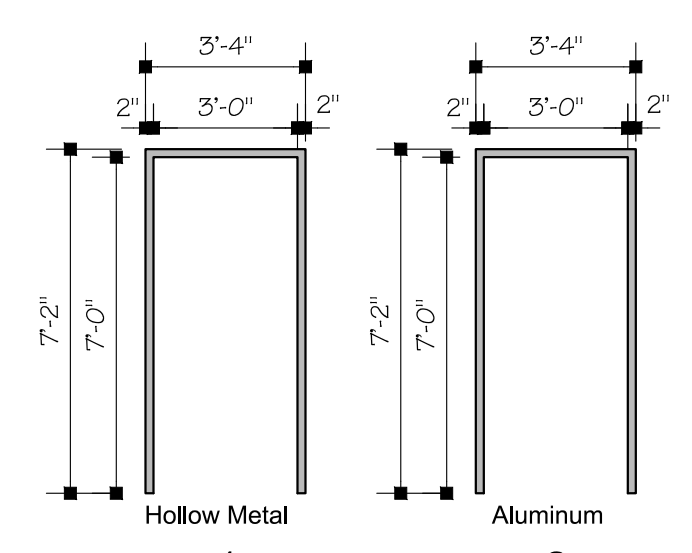


**1 KEY PLAN**  
3/32"=1'-0"

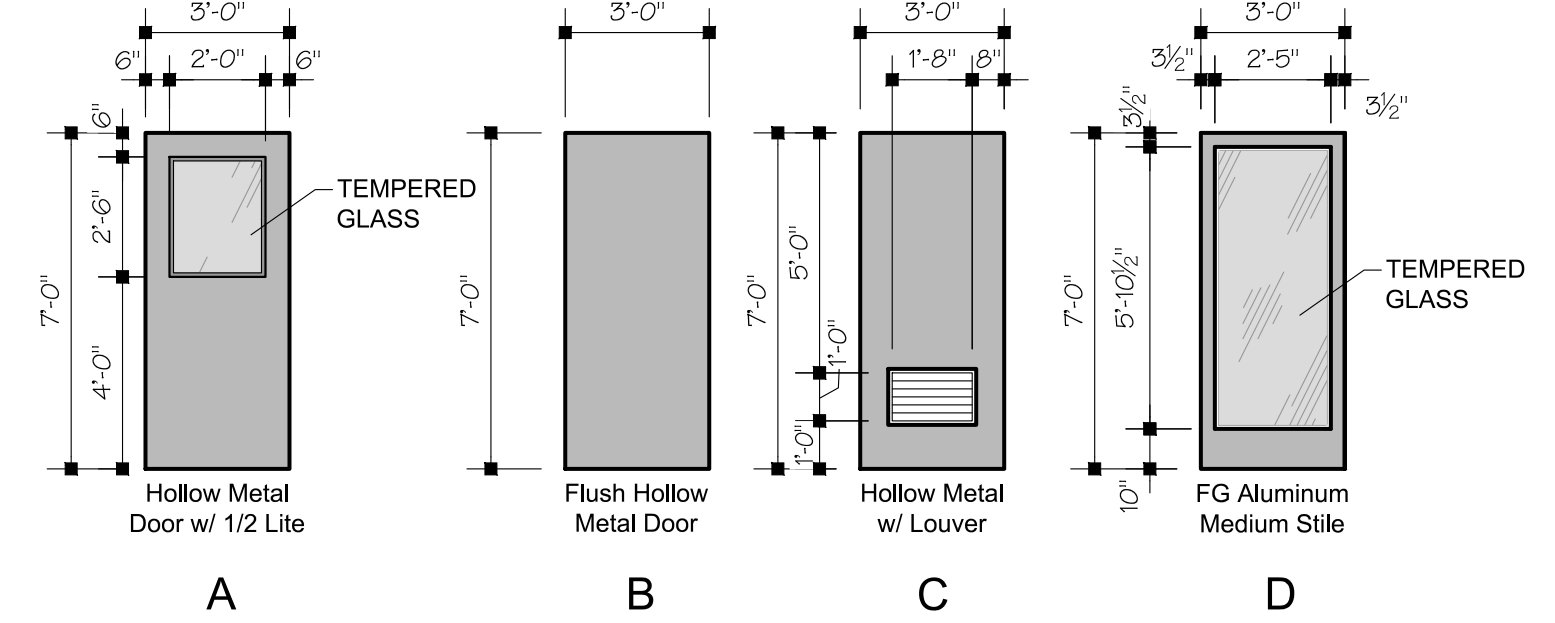
UNIT DOOR SCHEDULE					
CODE	TYPE	SIZE	ROUGH OPENING	MANUF.	DESCRIPTION
CB	ROLL-UP	3'-0" x 7'-0"	3'-0" x 7'-0"	TRAC-RITE/eq.	CORRIDOR ROLL-UP DOOR
CH	ROLL-UP	8'-0" x 7'-0"	8'-8" x 7'-0"	TRAC-RITE/eq.	CORRIDOR ROLL-UP DOOR

DOOR SCHEDULE													
No.	Door			Frame			Hardware Group	Remarks					
	Opening To	Opening From	Type	Mat	Fin	Type			Mat	Fin	FIRE RATING		
<b>1ST FLOOR</b>													
101	Retail Area	Storage Corridor	A	3'-0" x 7'-0"	HM	PT	1	HM	PT	1			
102	Restroom	Retail Area	B	3'-0" x 7'-0"	HM	PT	1	HM	PT	4			
103	Vestibule	Retail Area	D	3'-0" x 7'-0"	AL	PF	2	AL	PT	1			
104	Office	Retail Area	A	3'-0" x 7'-0"	HM	PT	1	HM	PT	5			
105	IT	Office	C	3'-0" x 7'-0"	HM	PT	1	HM	PT	3			
106	Elec. Room	Storage Corridor	B	3'-0" x 7'-0"	HM	PT	1	HM	PT	3			
107	Storage Corridor	JC	C	3'-0" x 7'-0"	HM	PT	1	HM	PT	3		w/ 10" Kick Plate	

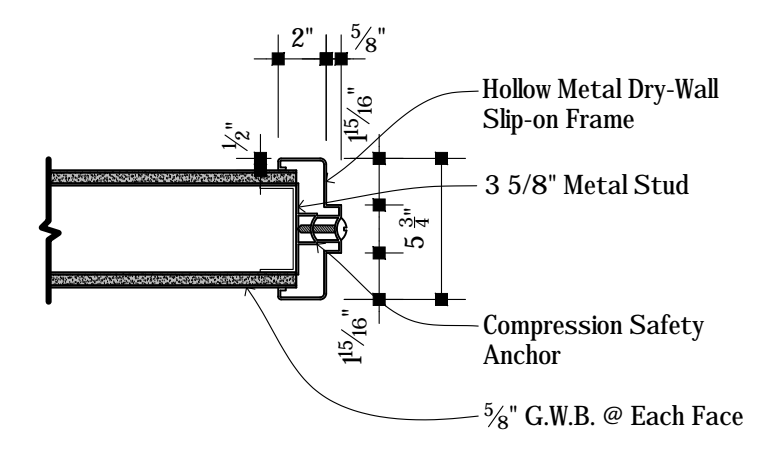
UNIT DOOR HARDWARE	
Janus JBI CTS NHSS Stainless Steel (No Padlock Holes, Cylinder Only)	
Janus JBI CTS NHYZ Yellow Zinc (No Padlock, Cylinder Only)	



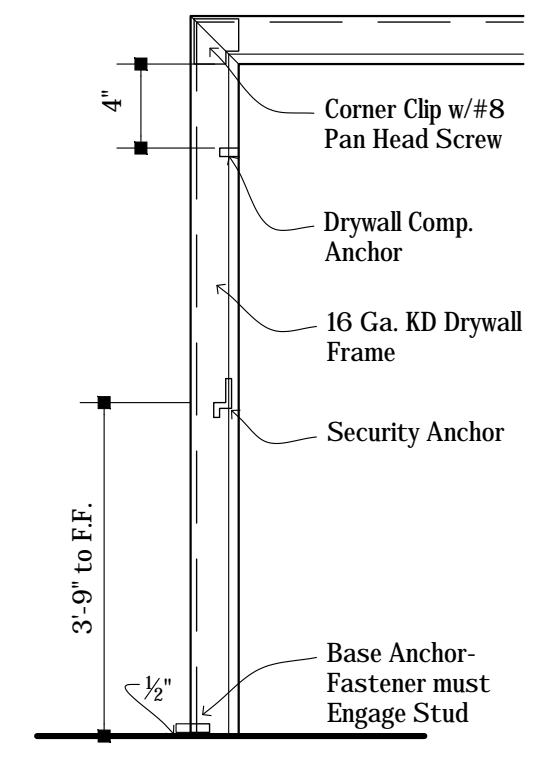
**2 SWING DOOR FRAMES**  
1/4"=1'-0"



**3 SWING DOOR TYPES**  
1/4"=1'-0"



**5 JAMB TYPES**  
1 1/2"=1'-0"

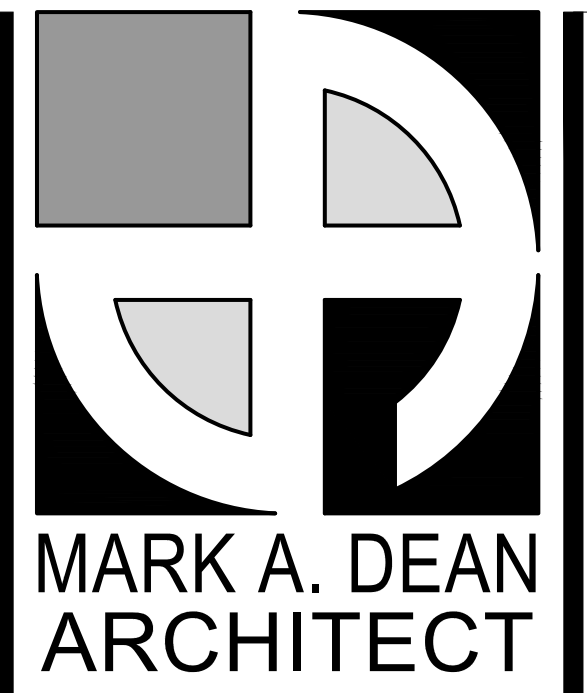


**4 FRAME DETAIL**  
1 1/2"=1'-0"

**DOOR NOTES**

- Dimensions given on plans and schedules are nominal. General contractor and manufacturers to coordinate all dimensions in field concerning frames and rough openings prior to fabrication and construction.
- The hardware model numbers provided in door schedule refer to a single manufacturer listed at the end of each column unless noted otherwise. See specifications for alternate hardware manufacturers.
- All metal doors are 1 3/4" thick unless otherwise noted.
- All hollow metal doors and frames shall comply with the Steel Door Institute "Recommended specifications Standard-Steel Doors and Frames" (SD-100).
- All glazing to comply with Glazed Panel Safety Standard and code requirements.
- Provide tempered glass as required to comply with code requirements and as indicated by a "T" on the drawings.
- All hollow metal frames at interior & exterior to be of welded construction, all frame corners shall be mitered, welded and ground smooth.
- All hollow metal doors and frames shall be of cold rolled steel furnished with a factory coat of prime paint. Wipe coat galvanized steel will not be accepted.
- When temperature conditions necessitate the use of anti-freezing agents in plaster or mortar, or the frames are to be fully grouted, the inside of the frame shall be coated with a corrosion resistant coating by the contractor responsible for installation. Grout for steel frames shall be mixed to a thick consistency to avoid causing corrosion due to excess water.
- Frames set in masonry openings shall be provided with masonry tee anchors and shall have an anchor for each 30 inches of jamb height or fastened there with a minimum of three anchors per jamb.
- Provide a 26 gauge steel plaster guard or mortar boxes welded to a frame and back of finish hardware cutouts where mortar or other materials might obstruct hardware operation, and to close off interior of openings.
- Install rubber silencers before frame erection to avoid grout filling rubber silencer holes.
- Provide rated frames at rated doors. Door frames and hardware shall have same rating as door hung within them. Provide label as required.
- In labeled openings all door and frame hardware and anchors must be UL approved.
- Where fire-rated door assemblies are indicated or required provide fire-rated door and frame assemblies that comply with NFPA-80 standard for fire doors and windows, and have been tested, listed and labeled in accordance with ASTM-E-152 standard methods of fire tests of door assemblies.
- At stairwell enclosures, provide doors which have a temperature rise rating of 450 degrees maximum in 30 minutes of fire exposure.
- Coordinate and prepare doors and frames to receive mortised and concealed finish hardware in accordance with final finish hardware schedule.
- Coordinate installation of security devices and entrance detector equipment with electrical contract documents and electrical contractor.
- Do not paint over any code required labeled such as labeled such as underwriters laboratories, performances rating, name, or nomenclature plates.

HARDWARE GROUPS		
1	2	3
<b>Exterior Entrance (Access Control)</b> Hinge: Hager 780 Continuous Hinge Panic: Von Duprin EL 98F 996L LAT F 3' US26D Closer: LCN 4040XP MC HCUSH US26D Weatherstrip: Provided by Door Mfg. Threshold: Zero 6" Alum. (ADA Compliant)	<b>Exterior Entrance (Pair)</b> Hinge: (2) Hager 780 Continuous Hinge Lock: Magnetic Lock w/ Motion Sensors Interior Key Fob Reader @ Exterior Closer: (2) Overhead Concealed Door Operator Weatherstrip: Provided by Door Manuf. Push/Pull: (2) Rockford BF15747-2 Threshold: Zero 6" Alum. (ADA Compliant)	<b>Mech. Access (Single)</b> Hinge: Hager 780 Continuous Hinge Panic: Von Duprin 98-NL-F 03 US26D Closer: LCN 4040XP MC US26D HCUSH Threshold: Zero 6" Alum. (ADA Compliant)
Coordinate w/ th access control system, provide low-voltage wiring and transformers as necessary	Coordinate w/ th access control system, provide low-voltage wiring and transformers as necessary	
4	5	6
<b>Interior (Privacy)</b> Hinge: Hager BB1168 4 1/2 x 4 1/2 (1 1/2 pr) Lockset: Schlage ND405 LAT US26D (Privacy) Stop: Glynn-Johnson FB19X	<b>Interior (Office Lockset)</b> Hinge: Hager BB1168 4 1/2 x 4 1/2 (1 1/2 pr) Lockset: Schlage ND50PD LAT US26D (Office Lock) Panic: Glynn-Johnson FB19X	<b>Interior Fire Exit</b> Hinge: Hager BB1168 4 1/2 x 4 1/2 (1 1/2 pr) Panic: Von Duprin 98-NL-F 03 US26D Closer: LCN 4040XP MC US26D HCUSH Stop: Glynn-Johnson FB19X



3284 WALDEN AVENUE  
DEPEW, NEW YORK 14043  
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FAX: (716) 651-0382

**22-238**

**STORE SPACE**

937 E. Haggard Ave.  
Elion, NC

**BUILDING 1**

**BUILDING 2**

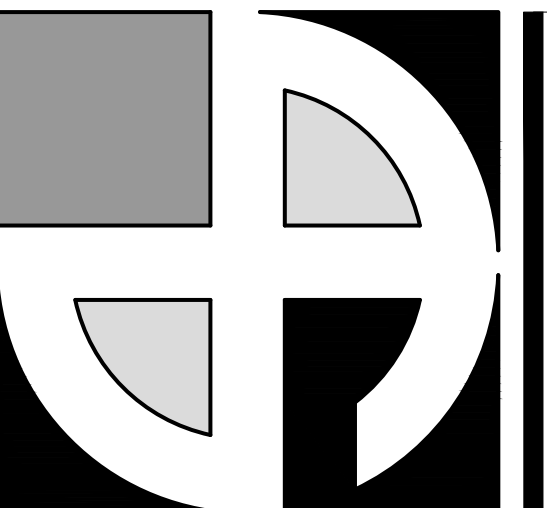
No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE: 9-3-22  
DRAWN BY: A. Barraclough  
CHECKED BY: M. Dean  
SCALE: 3/32"= 1'-0"

**DOOR SCHEDULE**

A4.0





MARK A. DEAN  
ARCHITECT



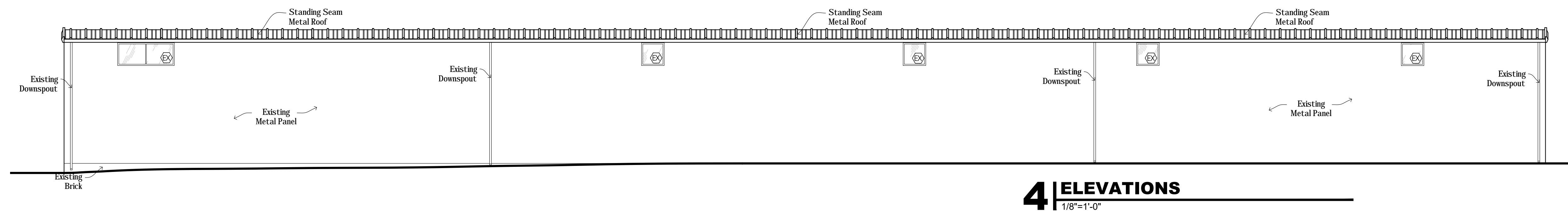
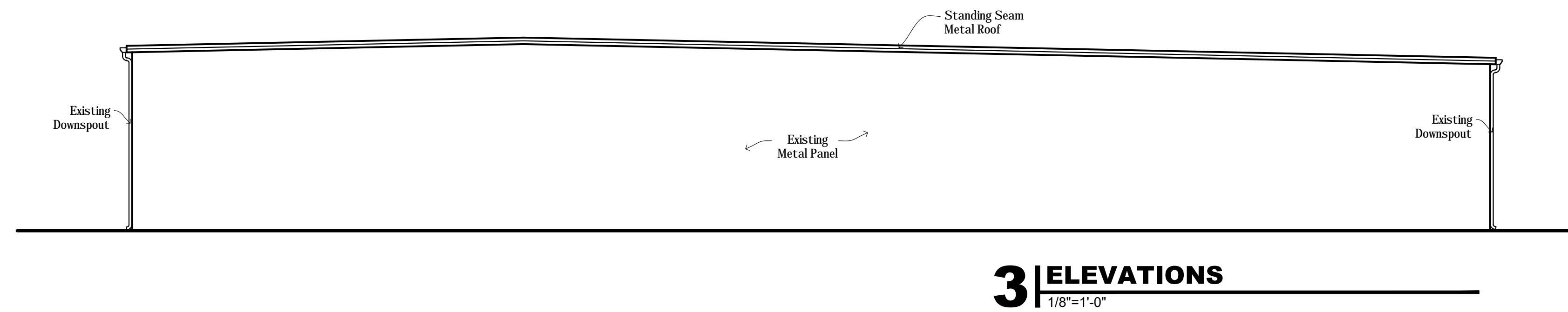
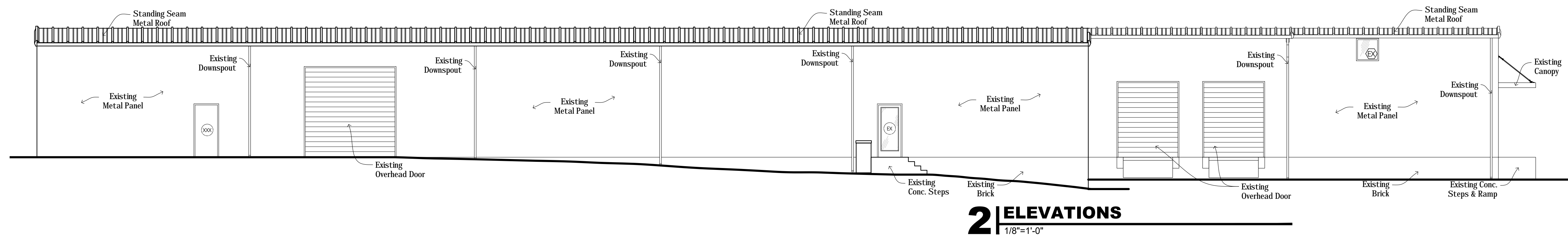
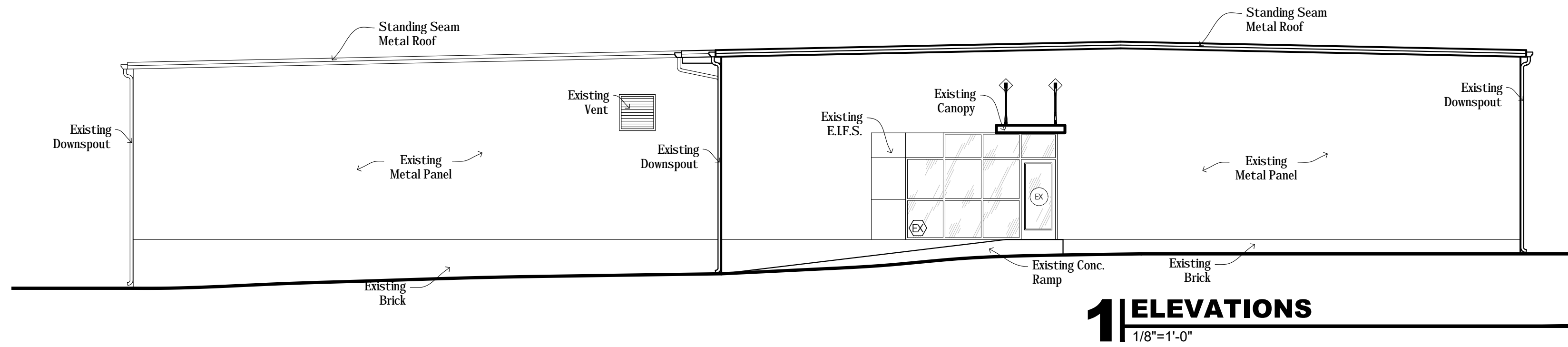
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PHONE: (716) 651-0381  
FAX: (716) 651-0382

**22-238**

STORE SPACE

937 E. Haggard Ave.  
Elon, NC

BUILDING 2



No.	Description	Date	By
1	ISSUED FOR BID	2-3-23	AB

DATE:  
9-3-22

DRAWN BY:  
M. Kasperek

CHECKED BY:  
M. Dean

SCALE:  
1/8"= 1'-0"

ELEVATIONS

**A5.0**

BUILDING 1